

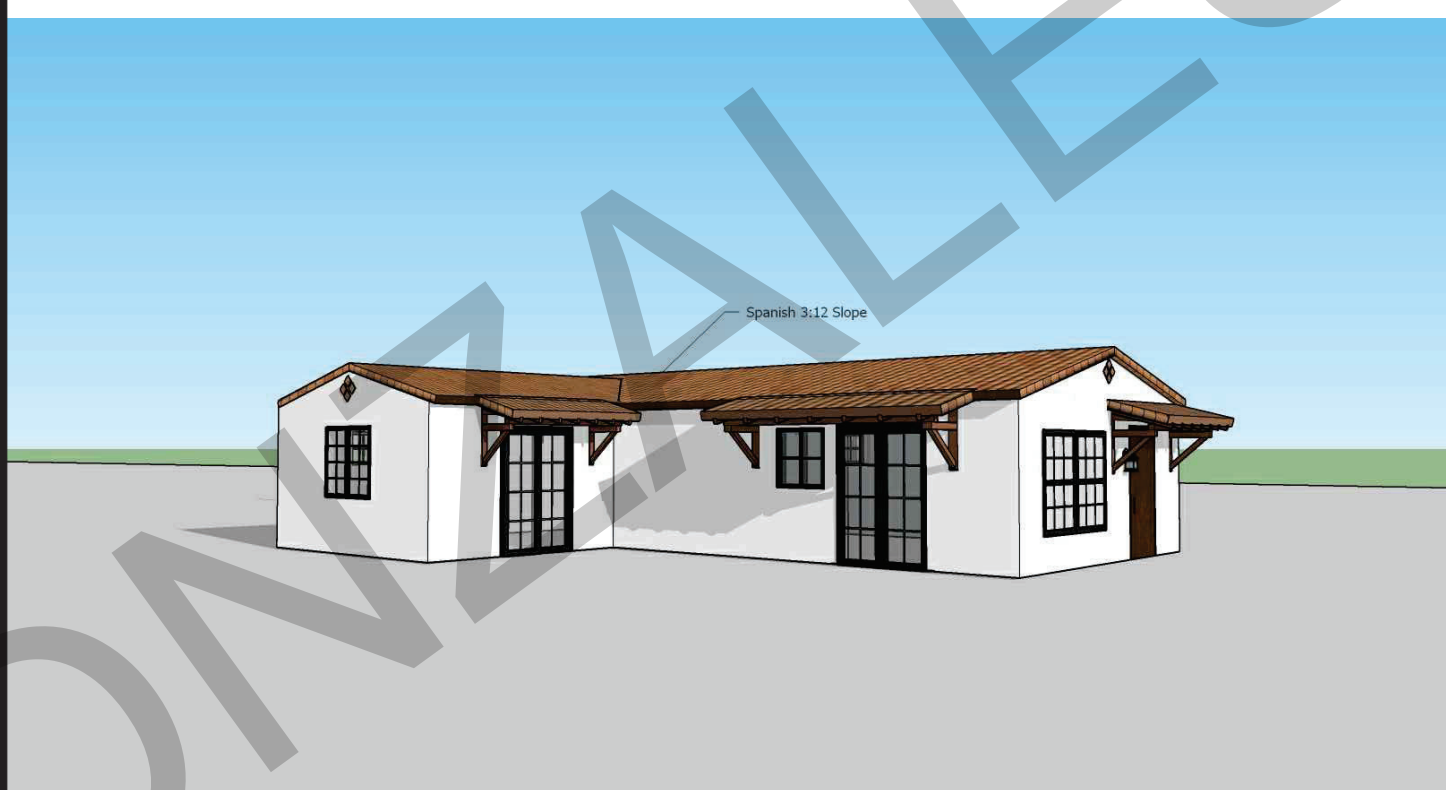
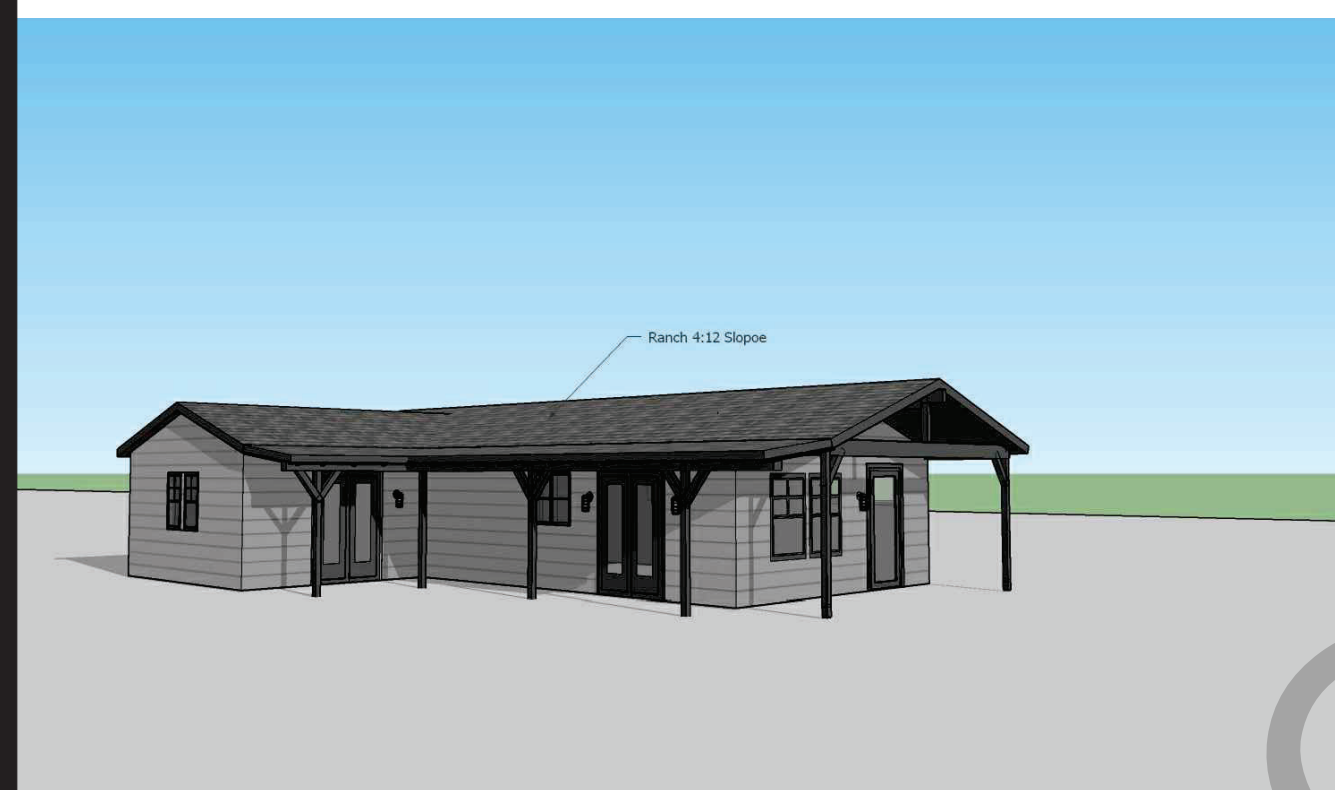
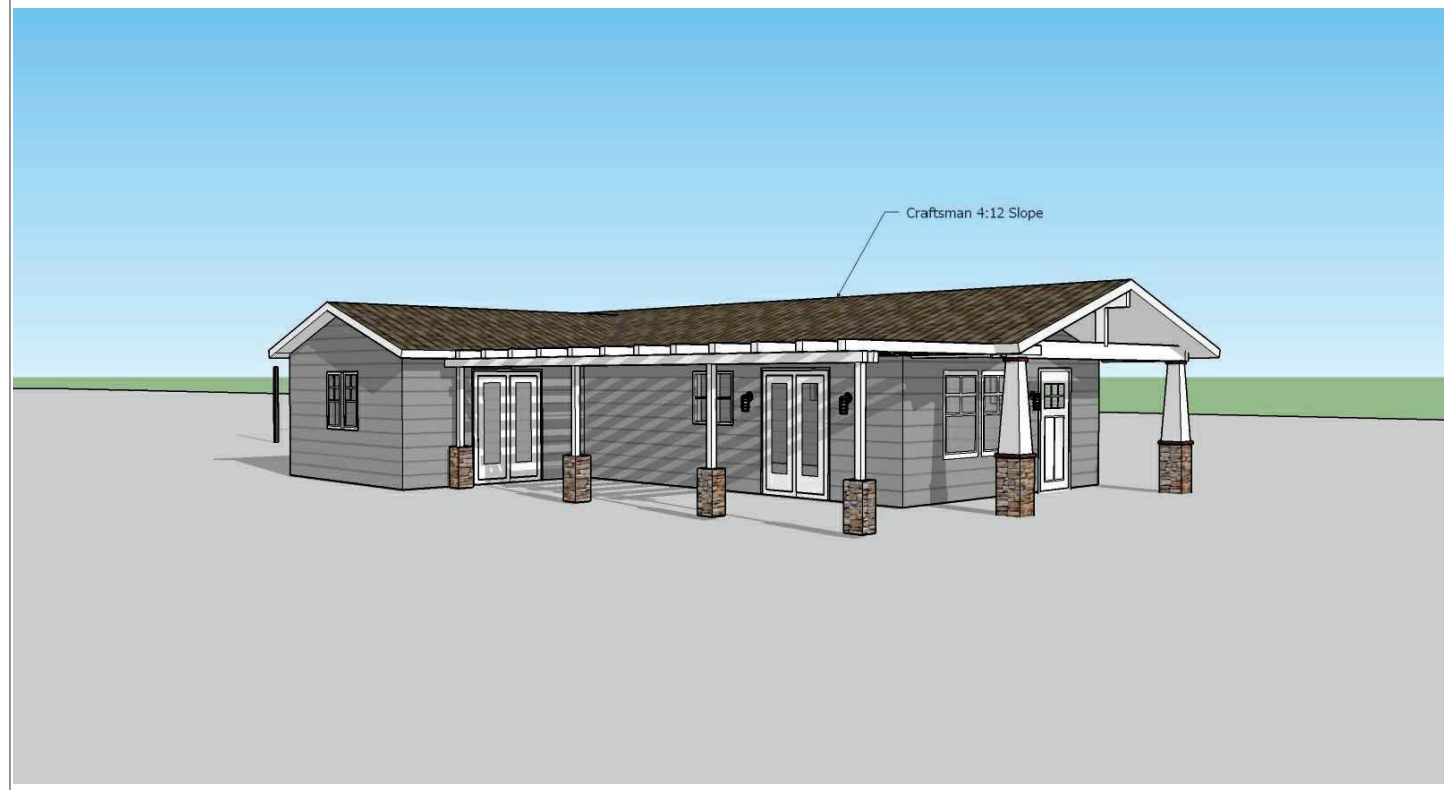


### Craftsman

### Midcentury

### Ranch

### Spanish

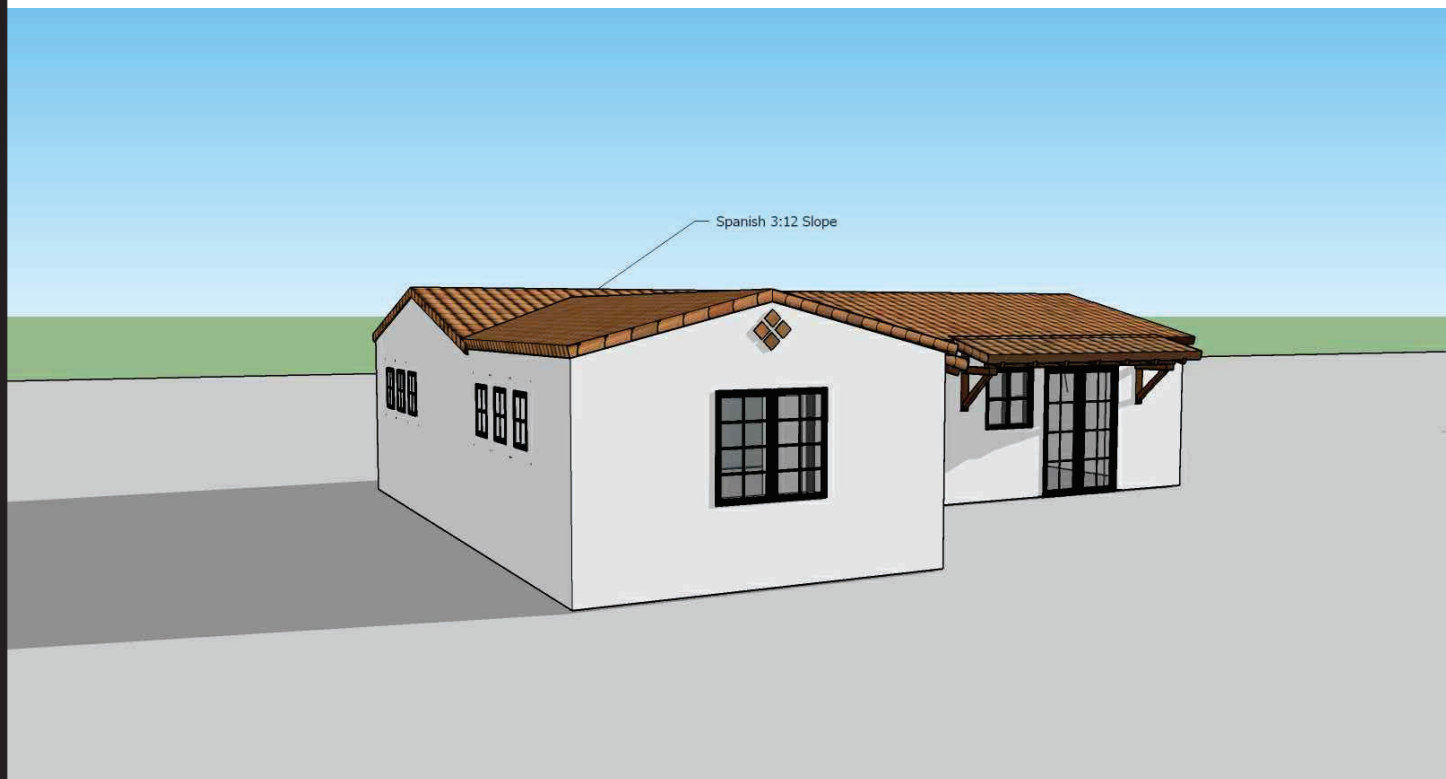
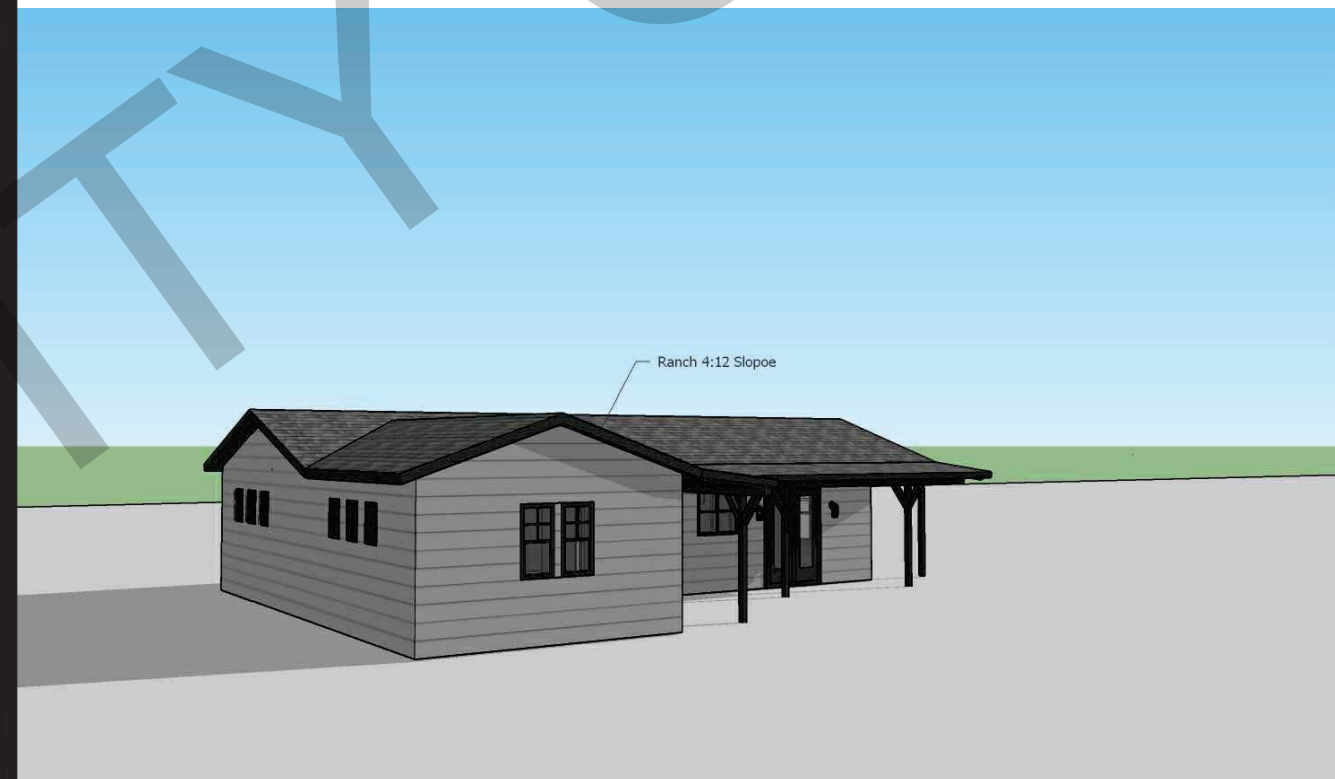
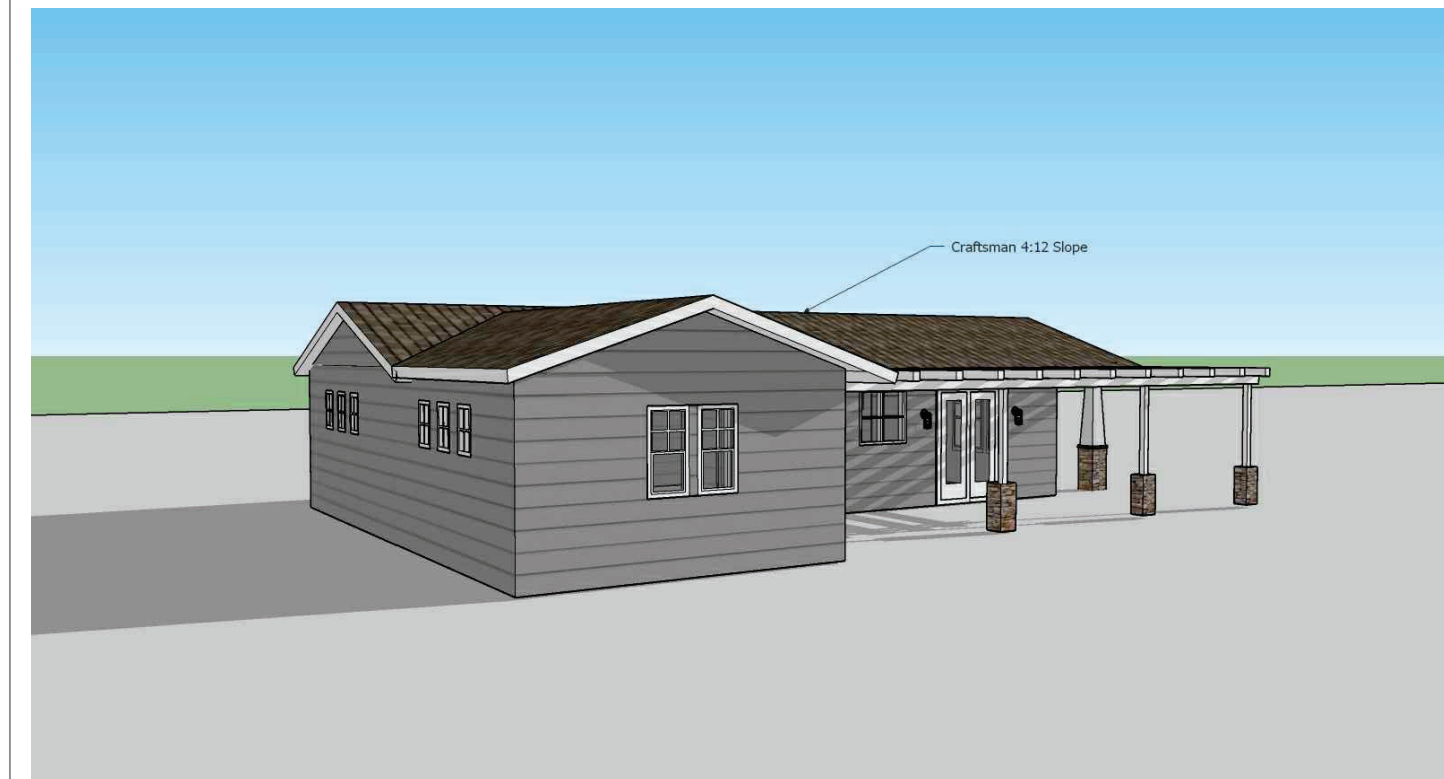


2 Bedroom -Craftsman view #1

2 Bedroom -Midcentury view #1

2 Bedroom -Ranch view #1

2 Bedroom -Spanish view #1

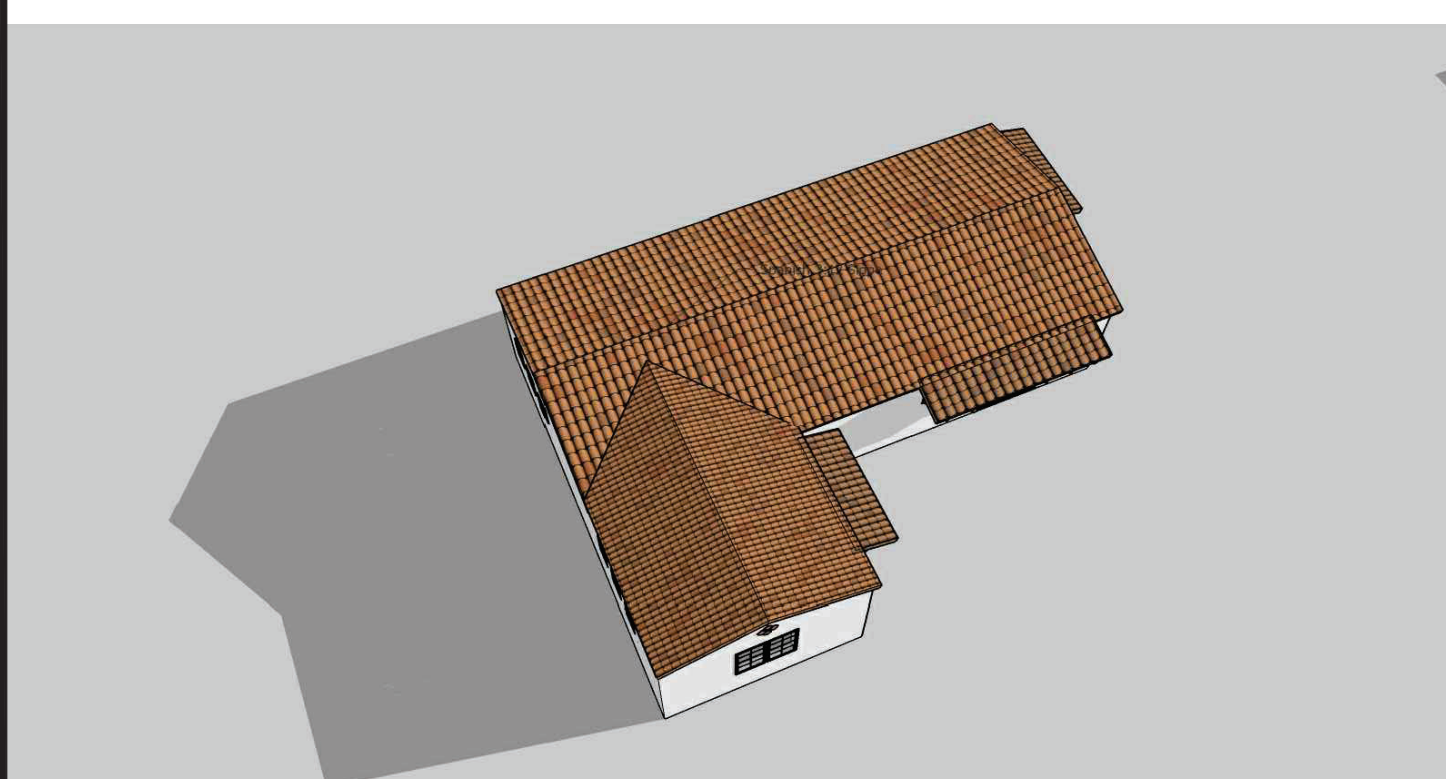
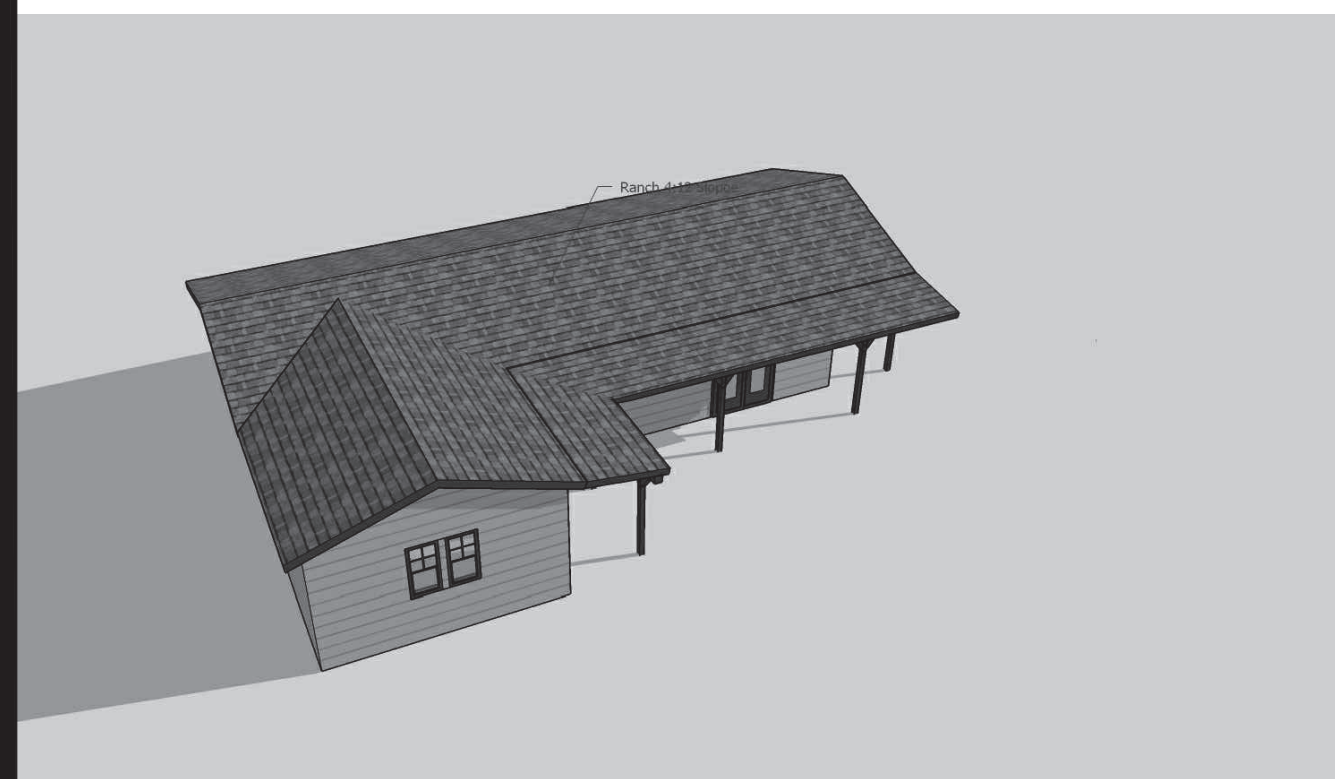
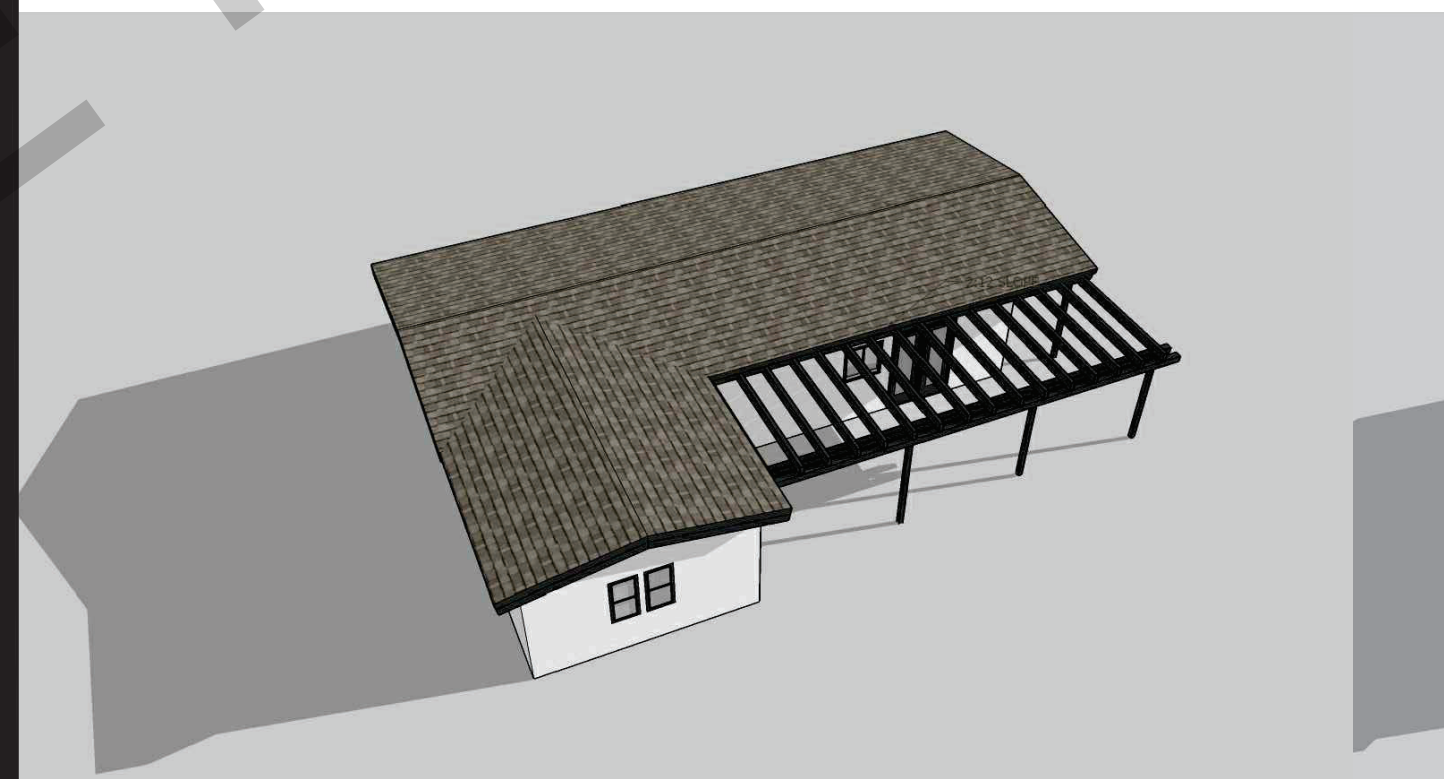
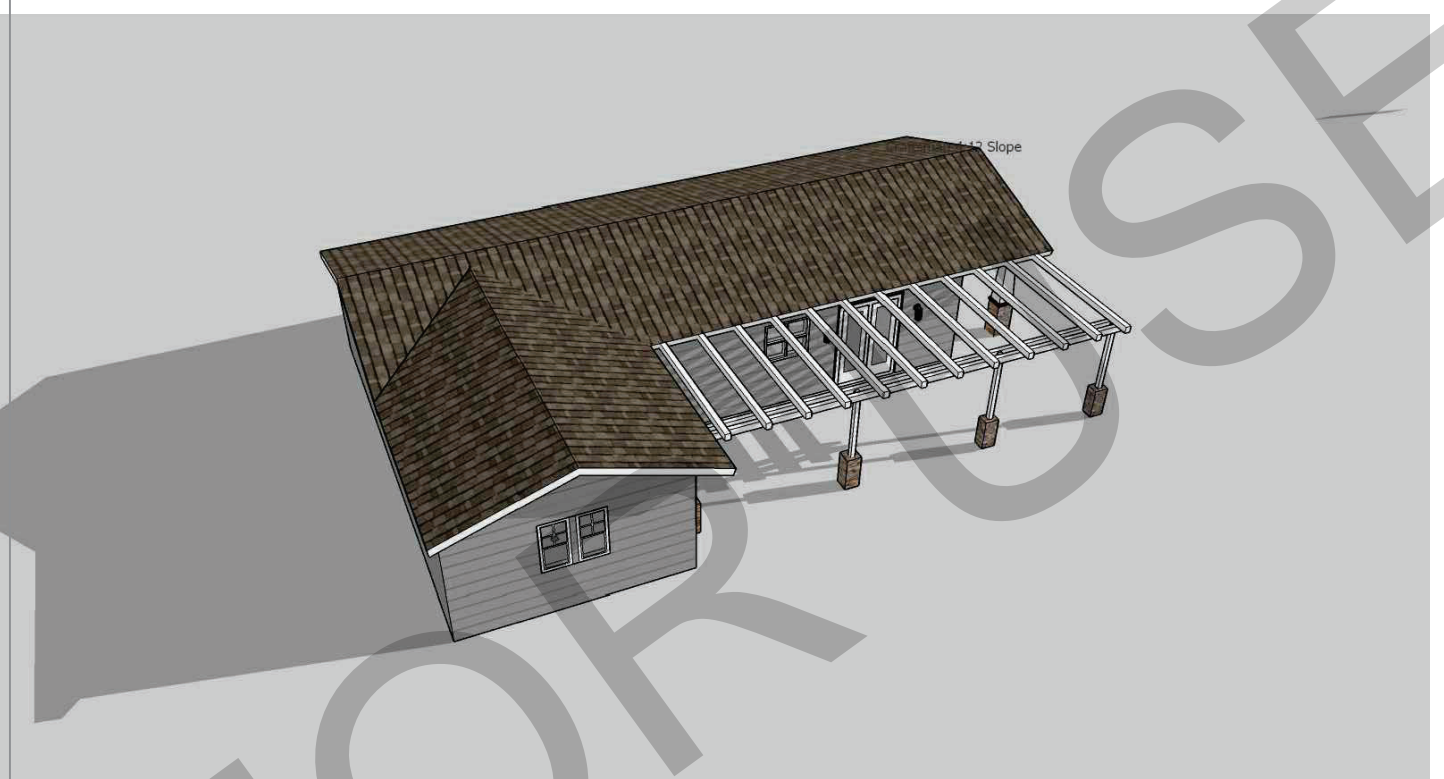


2 Bedroom -Craftsman view #2

2 Bedroom -Midcentury view #2

2 Bedroom -Ranch view #2

2 Bedroom -Spanish view #2



2 Bedroom -Craftsman view #3

2 Bedroom -Midcentury view #3

2 Bedroom -Ranch view #3

2 Bedroom -Spanish view #3

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project  
City of Gonzales  
Pre-Approved ADU  
Plans

revisions  
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description  
Exterior  
Style  
Options  
2 Bedroom 2B

date September 2023

project no.

drawn by DESIGN PATH STUDIO

sheet no.

**CONSTRUCTION**

SEDIMENT FROM EXCAVATION AND OTHER CONSTRUCTION PROJECTS IS THE MOST COMMON POLLUTANT WASHED FROM WORK SITES. SEDIMENT ENTERING THE WATERWAYS THROUGH STORM DRAINS HARMS AQUATIC LIFE AND DISRUPTS THE FOOD CHAIN UPON WHICH BOTH FISH AND PEOPLE DEPEND.

**EROSION CONTROL GENERAL PRACTICES**

- KEEP ALL CONSTRUCTION DEBRIS AWAY FROM THE STREET, GUTTER AND STORM DRAIN. LOOK FOR AND CLEAN UP MATERIAL THAT MAY HAVE TRAVELED AWAY FROM YOUR PROPERTY.

- KEEP MATERIALS OUT OF THE RAIN BY STORING THEM INDOORS OR OUTDOORS WITH A SECURE ROOF OR PLASTIC SHEETING.

- SCHEDULE GRADING AND EXCAVATION PROJECTS FOR DRY WEATHER.

- COVER EXCAVATED MATERIAL AND STOCKPILES OF ASPHALT AND SAND WITH PLASTIC TARPS.

- PREVENT EROSION BY PLANTING FAST-GROWING ANNUAL AND PERENNIAL GRASSES. THESE WILL SHIELD AND BIND SOIL.

**RECYCLING & HAZARDOUS WASTE DISPOSAL:**  
SUN STREET TRANSFER STATION  
SALINAS VALLEY SOLID WASTE AUTHORITY  
(831) 424-5520  
139 SUN STREET  
SALINAS, 93901

**TO REPORT A SPILL, ILLEGAL DUMPING OR A CLOGGED STORM DRAIN CALL:**  
(831) 758-7233  
CITY OF SALINAS  
DEPARTMENT OF PUBLIC WORKS  
MAINTENANCE DIVISION

FOR MORE INFORMATION ABOUT STORM DRAIN PROTECTION CALL: (831) 758-7233

**WATER POLLUTION PREVENTION**

ONLY "RAIN" IS ALLOWED IN OUR STORM DRAIN SYSTEM. RAIN, INDUSTRIAL AND HOUSEHOLD WATER MIXED WITH URBAN POLLUTANTS CREATES STORMWATER POLLUTION. THE POLLUTANTS INCLUDE:

URBAN RUNOFF POLLUTION (OIL AND OTHER AUTOMOTIVE FLUIDS, PAINT AND CONSTRUCTION DEBRIS, YARD AND PET WASTES, PESTICIDES AND LITTER).

- FLOWS THROUGH THE STORM DRAIN TO THE SALINAS RIVER AND THE RECLAMATION DITCH THAT TAKES WATER AND DEBRIS STRAIGHT FROM SALINAS STREETS TO THE MONTEREY BAY MARINE SANCTUARY.

- CONTAMINATES OUR RIVERS AND DITCHES, HARMS AQUATIC LIFE AND INCREASES THE RISK OF FLOODING BY CLOGGING GUTTERS AND CATCH BASINS.

- OIL AND GREASE. FOR EXAMPLE, CLOG FISH GILLS AND BLOCK OXYGEN FROM ENTERING THE WATER. IF OXYGEN LEVELS IN THE WATER BECOME TOO LOW, AQUATIC ANIMALS MAY BE HARMED AND/OR DIE.

**HOUSEHOLD HAZARDOUS WASTE DISPOSAL**

- HOUSEHOLD TOXICS—SUCH AS COMMON HOUSEHOLD CLEANERS, PAINT PRODUCTS AND MOTOR OIL—CAN POLLUTE OUR RIVERS AND POISON THE GROUNDWATER IF NOT DISPOSED OF AS HAZARDOUS WASTE.

- TAKE YOUR HOUSEHOLD CHEMICALS AND TOXICS TO THE LOCAL HOUSEHOLD HAZARDOUS WASTE FACILITY.

**CONCRETE & MASONRY**

FRESH CONCRETE AND MORTAR APPLICATION MATERIALS CAN WASH DOWN OR BLOW INTO THE STREET, GUTTER OR STORM DRAIN.

- DO NOT MIX UP MORE FRESH CONCRETE OR CEMENT THAN YOU WILL USE.

- STORE BAGS OF CEMENT AND PLASTER UNDER COVER. PROTECT THESE MATERIALS FROM RAINFALL, RUNOFF AND WIND, AWAY FROM GUTTERS AND STORM DRAINS.

- NEVER DISPOSE OF CEMENT WASHOUT OR CONCRETE DUST ONTO DRIVEWAYS, STREETS, GUTTERS OR STORM DRAINS.

**PAINTING**

PAINTS AND SOLVENTS CONTAIN CHEMICALS THAT ARE HARMFUL TO AQUATIC LIFE. TOXIC CHEMICALS CAN COME FROM LIQUID OR SOLID PRODUCTS OR FROM CLEANING RESIDUES ON RAGS. IT IS ESPECIALLY IMPORTANT TO PREVENT THESE CHEMICALS FROM ENTERING STORM DRAINS.

**PAINT CLEANUP**

- NEVER CLEAN BRUSHES OR RINSE PAINT CONTAINERS INTO A STREET, GUTTER OR STORM DRAIN.

- FOR OIL-BASED PAINTS, PAINT OUT BRUSHES TO THE EXTENT POSSIBLE. CLEAN WITH THINNER AND THEN FILTER AND REUSE THINNER.

- FOR WATER-BASED PAINTS, PAINT OUT BRUSHES TO THE EXTENT POSSIBLE, THEN RINSE IN THE SINK.

- WHEN THOROUGHLY DRY, USED BRUSHES, EMPTY PAINT CANS (LIDS OFF), RAGS AND DROP CLOTHS MAY BE DISPOSED OF AS TRASH.

**PAINT REMOVAL**

- CHEMICAL PAINT STRIPPING RESIDUE, INCLUDING SATURATED RAGS, IS A HAZARDOUS WASTE AND SHOULD BE TAKEN TO A HOUSEHOLD HAZARDOUS WASTE COLLECTION EVENT.

- CHIPS AND DUST FROM MARINE PAINTS OR PAINTS CONTAINING LEAD OR TRIBUTYL TIN ARE ALSO HAZARDOUS WASTES. SWEEP THEM UP AND SAVE THEM FOR A HAZARDOUS WASTE COLLECTION EVENT.

**PAINT RECYCLING**

- REUSE LEFTOVER PAINT FOR TOUCH-UPS OR RECYCLE IT AT A LOCAL HOUSEHOLD HAZARDOUS WASTE COLLECTION EVENT.

**LANDSCAPING & GARDENING**

- INTENSIVE GARDENING AND LANDSCAPING INCREASE THE LIKELIHOOD THAT GARDEN CHEMICALS AND SOIL WILL WASH INTO STORM DRAINS. PESTICIDES AND HERBICIDES NOT ONLY KILL GARDEN INVADERS, THEY ALSO HARM INSECTS, POISON FISH AND CONTAMINATE GROUND AND RIVER WATER.

- USE ORGANIC OR NON-TOXIC FERTILIZERS AND PESTICIDES. DO NOT FERTILIZE OR USE GUTTERS OR STORM DRAINS.

- STORE PESTICIDES, FERTILIZERS AND CHEMICALS IN A COVERED AREA TO PREVENT RUNOFF.

- DO NOT BLOW, SWEEP, HOSE OR RAKE LEAVES INTO THE STREET, GUTTER OR STORM DRAIN.

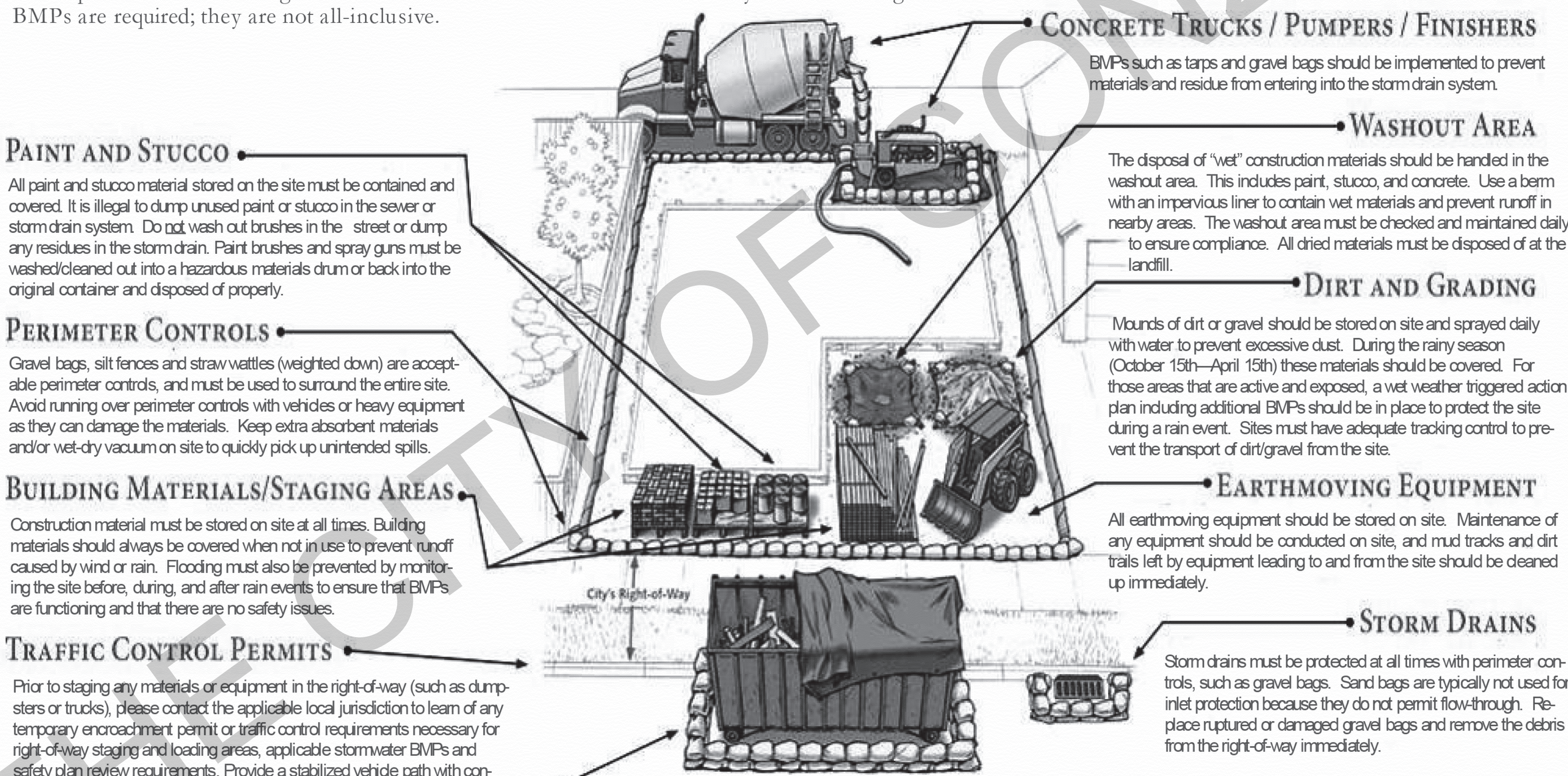
- PLACE CLIPPINGS AND PRUNING WASTE IN APPROVED CONTAINERS FOR PICK UP.

- CONSERVE WATER BY USING DRIP IRRIGATION, SOAKER HOSES OR MICRO-SPRAY SYSTEMS.

# CONSTRUCTION SITE BEST MANAGEMENT PRACTICES

THE FOLLOWING BMPs MUST BE PROPERLY USED AT ALL CONSTRUCTION SITES TO PROTECT STORM DRAINS AND MINIMIZE POLLU-

The City of Salinas Stormwater Management Program prohibits pollutant discharges at work sites from flowing into storm drains and polluting neighborhood creeks, rivers, and the ocean. To comply with the law and keep your project on schedule, make sure proper BMPs are in place and functioning. Sites must be checked and maintained daily. The following BMPs are required; they are not all-inclusive.



**CONCRETE TRUCKS / PUMBERS / FINISHERS**

BMPs such as tarps and gravel bags should be implemented to prevent materials and residue from entering into the storm drain system.

**WASHOUT AREA**

The disposal of "wet" construction materials should be handled in the washout area. This includes paint, stucco, and concrete. Use a berm with an impervious liner to contain wet materials and prevent runoff in nearby areas. The washout area must be checked and maintained daily to ensure compliance. All dried materials must be disposed of at the landfill.

**DIRT AND GRADING**

Mounds of dirt or gravel should be stored on site and sprayed daily with water to prevent excessive dust. During the rainy season (October 15th–April 15th) these materials should be covered. For those areas that are active and exposed, a wet weather triggered action plan including additional BMPs should be in place to protect the site during a rain event. Sites must have adequate tracking control to prevent the transport of dirt/gravel from the site.

**EARTHMOVING EQUIPMENT**

All earthmoving equipment should be stored on site. Maintenance of any equipment should be conducted on site, and mud tracks and dirt trails left by equipment leading to and from the site should be cleaned up immediately.

**STORM DRAINS**

Storm drains must be protected at all times with perimeter controls, such as gravel bags. Sand bags are typically not used for inlet protection because they do not permit flow-through. Replace ruptured or damaged gravel bags and remove the debris from the right-of-way immediately.

Protecting water resources improves and preserves quality of life for our children and future generations.

Questions? Contact the City of Salinas Public Works Department  
831-758-7988 or 831-758-7251

Photo courtesy of the City of San Diego

**GENERAL NOTES**

1. SEE BUILDING PLANS FOR ALL OTHER DIMENSIONS AND NOTES NOT SHOWN.
2. SEE BUILDING PLANS AND SCHEDULES FOR ALL EXTERIOR DOOR AND WINDOW REFERENCES AND LOCATIONS.
3. YARD SETBACKS ARE TO BE MEASURED FROM THE EXTERIOR WALL FINISH TO THE PROPERTY LINE AND NOT FROM THE OUTSIDE OF THE FOOTING (OR FACE OF STUDS). THE PLANS MUST BE DESIGNED WITH THE WALL FINISH THICKNESS (I.E. 7/8" STUCCO, ETC.) ADDED TO THE PLAN FOR THE SETBACK MEASUREMENT. THE FIELD INSPECTOR WILL ADD THE PLANNED WALL FINISH THICKNESS TO THE FOUNDATION SETBACK.
4. NEW ELECTRIC SERVICE IS TO BE LOCATED - POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.
5. LANDSCAPE AND IRRIGATION WATER USE SHALL HAVE WEATHER OR SOIL BASED CONTROLLERS NOT USED.
6. CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 6' AND SHORING AND UNDERPINNING.
7. A DIMENSIONED SITE PLAN DRAWN TO SCALE SHALL BE PROVIDED SHOWING THE FOLLOWING:

9. NORTH ARROW, PROPERTY LINES, EASEMENTS, STREETS, EXISTING AND PROPOSED BUILDINGS, AND STRUCTURES. LOCATION OF YARDS USED FOR ALLOWABLE INCREASE OF BUILDING AREA, DIMENSIONED SETBACKS, MINIMUM SEPARATION FROM EXISTING STRUCTURES AND FUEL MODIFICATION ZONES PER UNIFORM ADMINISTRATIVE CODE SECTION 302.
10. IF A GRADING PLAN IS REQUIRED, INCORPORATE THE ENTIRE APPROVED GRADING PLAN/IMPROVEMENT PLAN (ALL SHEETS) WITH THE BUILDING PLANS. PROJECTIONS, INCLUDING EAVES, MUST BE AT LEAST 24" FROM PROPERTY LINES.
11. NEW RESIDENTIAL DEVELOPMENTS WITH AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQ FT SHALL COMPLY WITH THE MODERN WATER EFFICIENT LANDSCAPE ORDINANCE.
12. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

**DIVISION 2 - SITEWORK**

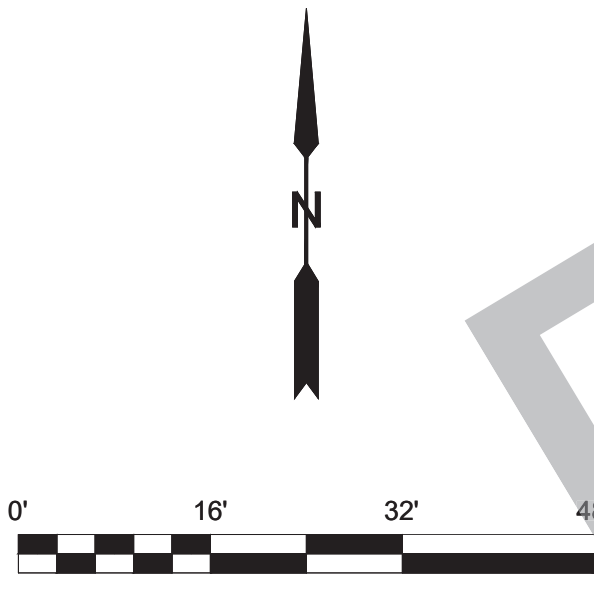
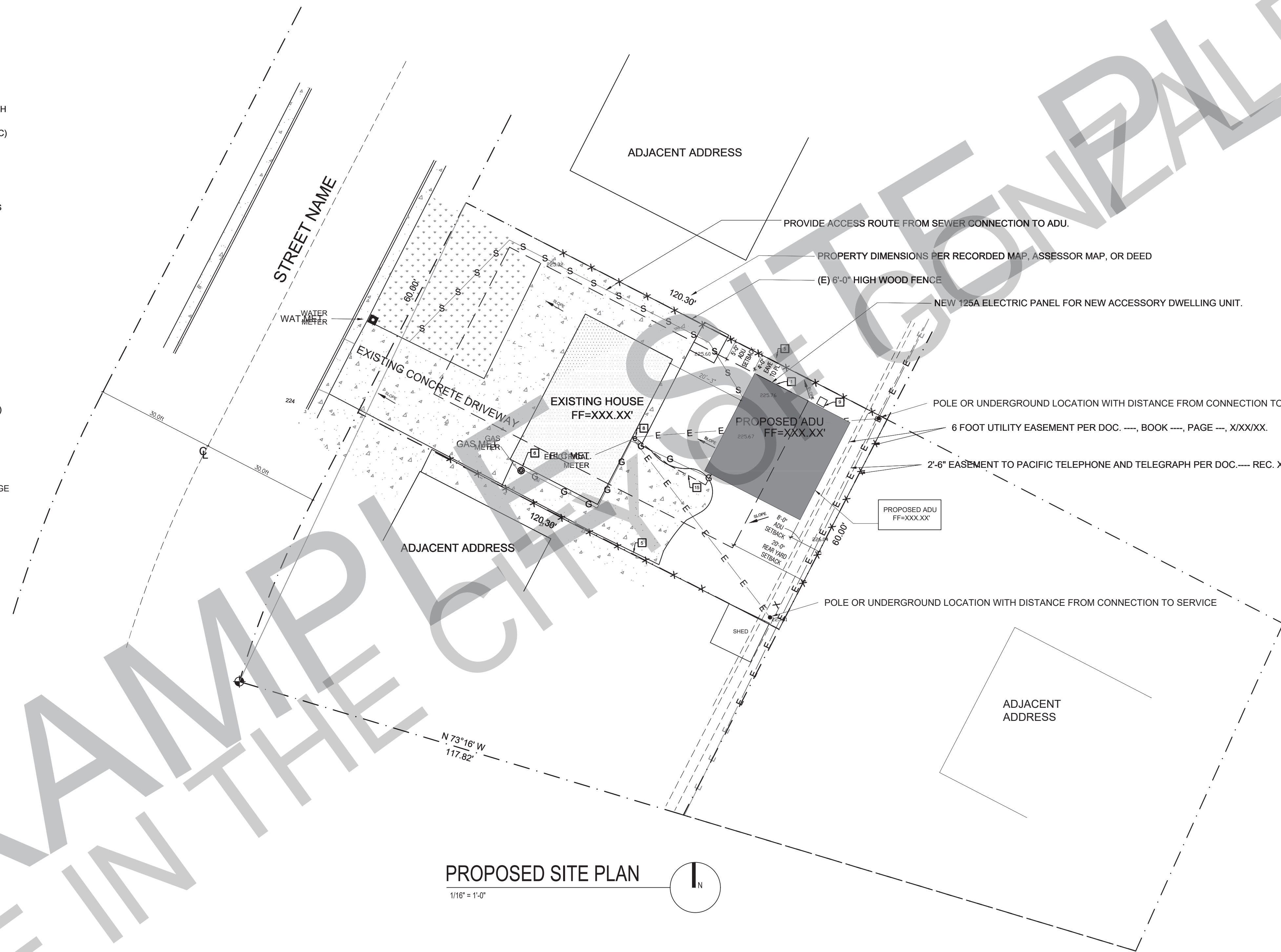
1. SITE PREPARATION PROJECT IS TO BE STAKED OUT FOR OWNER APPROVAL BEFORE FOR EARTHWORK IS TO BEGIN.
2. SITE CLEARING OWNER/CONTRACTOR WILL VERIFY ALL PLANTING TO BE REMOVED PRIOR TO STARTING WORK.
3. LINES AND LEVELS THE CONTRACTOR WILL VISIT THE SITE AND EVALUATE GRADE CONDITION. FOR BIDDING PURPOSES, THE OWNER/CONTRACTOR WILL CALCULATE HIS OWN CUT AND FILL QUANTITIES BASED ON THE SITE PLAN.
4. SHORING IS TO BE PROVIDED AS REQUIRED
5. EARTH WORK
  - a. REMOVE AND RECOMPACT LOOSE TOPSOIL AND SLIGHTLY ALTER THE EXISTING TOPOGRAPHY. ALL GRADING SHOULD BE PERFORMED IN ACCORDANCE WITH THE CITY OF SALINAS GRADING ORDINANCE
  - b. THE OWNER/CONTRACTOR IS TO VERIFY THE LOCATION OF UTILITY SERVICE IN THE AREA PRIOR TO EXCAVATION.
6. UNLESS OTHERWISE INDICATED ON THE DRAWINGS, ALL FINISH GRADES ARE TO SLOPE AWAY FROM THE BUILDING AND EXTERIOR PAVING 1/4" PER FOOT MINIMUM FOR A MINIMUM DISTANCE OF 5'-0". LOT DRAINAGE TO AVOID POOLING AT BUILDING.

project	City of Gonzales Pre-Approved ADU Plans
revisions	<ul style="list-style-type: none"> <li>△</li> <li>△</li> <li>△</li> <li>△</li> <li>△</li> </ul>

description	Site & BMP Information
date	September 2023
project no.	
drawn by	DESIGN PATH STUDIO
sheet no.	AS.1

# SITE INFORMATION CHECKLIST:

- X TO BE INCLUDED ON SITE PLAN**
- ALL EXTERIOR SITE BOUNDARIES CORRECTLY SCALED AND DIMENSIONED
  - NORTH ARROW
  - SCALE OF PLANS, GRAPHIC AND WRITTEN
  - LEGEND OF SYMBOLS, LINES, ABBREVIATIONS, ETC. USED ON PLANS
  - SITE CONTOURS, GRADE ELEVATIONS, AND OTHER TOPOGRAPHIC FEATURES
  - LOCATION AND DIMENSION OF ALL DRIVEWAY, ACCESS ROADS, AND CURB CUTS
  - SHOW FIRE ACCESS ROADS / DRIVEWAY - MAX FIRE HOSE PULL OF 150 FT LENGTH
  - LOCATION AND DIMENSIONS OF ALL EASEMENTS (ELECTRIC, WATER, SEWER, ETC)
  - REQUIRED AND PROPOSED BUILDING SETBACKS
  - LOCATION OF EXISTING AND PROPOSED BUILDINGS AND STRUCTURES
  - DISTANCE OF ALL STRUCTURES FROM EACH OTHER AND FROM PROPERTY LINES
  - LOCATION AND HEIGHT OF ALL FENCES AND RETAINING WALLS
  - LOCATION AND SIZE OF OFF-STREET PARKING
  - LOCATION OF EXISTING AND PROPOSED VEGETATION
  - LOCATION OF EXISTING AND PROPOSED UTILITIES TO NEW ADU
  - LOCATION OF EXISTING AND NEW UTILITIES (SEWER LATERAL CLEANOUTS, GAS LINES, ELECTRICAL OVERHEAD, OR UNDERGROUND CONDUCTORS.)
  - NEW SEWER LATERAL SERVING THE NEW ADU. REFER TO CPC 311.1
  - ADU SEWER LINE CANNOT BE CONNECTED DIRECTLY TO THE EXISTING MAIN DWELLING UNIT EXCEPT AS SPECIFIED IN GOVERNMENT CODE SECTION 65852.2
  - LOCATION OF EXISTING AND NEW METER LOCATIONS (GAS, ELECTRICAL, WATER.)
  - SITE PLAN SIGNED BY PREPARER.
  - PROVIDE A PHOTO FROM THE STREET OF THE EXISTING MAIN DWELLING.
  - PROVIDE LOCATION OF SOLID WASTE, RECYCLE, AND GREEN WASTE BIN STORAGE
  - STREET TREES (EXISTING AND PROPOSED)



**PROPOSED SITE PLAN**  
1/16" = 1'-0"

KEYNOTES	GENERAL NOTES	LEGEND	LOT SIZE & IMPERVIOUS AREA	GRADING INFORMATION:
<p>1 LINE OF EXTERIOR WALL, TYP.</p> <p>2 LINE OF ROOF OVERHANG / DECK / AWNING / STRUCTURE ABOVE</p> <p>3 REQUIRED SETBACKS</p> <p>4 PROPERTY LINE, TYP.</p> <p>5 FENCE- HEIGHT PER PLAN</p> <p>6 EXISTING GAS METER</p> <p>7 EXISTING WATER METER</p> <p>8 EXISTING ELECTRIC METER</p> <p>9 CONDENSING UNIT</p> <p>10 SURFACE WATER IS TO DRAIN AWAY FROM BUILDING GRADE SHALL FALL A MIN. OF 6" WITHIN THE FIRST 10 FEET</p> <p>11 FEEDER TO EXTEND TO EXISTING PANEL</p>	<p>1. SPOT DIMENSIONS INDICATE ESTIMATED GRADE HEIGHTS. VERIFY IN FIELD PRIOR TO CONSTRUCTION.</p> <p>2. SEE BUILDING PLANS FOR ALL OTHER DIMENSIONS AND NOTES NOT SHOWN.</p> <p>3. SEE BUILDING PLANS AND SCHEDULES FOR ALL EXTERIOR DOOR AND WINDOW REFERENCES AND LOCATIONS.</p> <p>4. YARD SETBACKS ARE TO BE MEASURED FROM THE EXTERIOR WALL FINISH TO THE PROPERTY LINE AND NOT FROM THE OUTSIDE OF THE FOOTING (OR FACE OF STUDS).</p> <p>5. OWNER/CONTRACTOR TO REVIEW PLANS TO AVOID CONFLICTS WITH UTILITIES, I.E. METER LOCATIONS, ELECTRIC TRANSFORMER, BACKFLOW PREVENTERS, SEWER LINES AND ELECTRIC CONDUIT (POLE LIGHTNING AT DRIVEWAY), ETC.</p> <p>6. OWNER/CONTRACTOR TO VERIFY ALL CONDITIONS AND UTILITY LOCATIONS AND IS RESPONSIBLE FOR LOCATING UTILITIES NOT SHOWN ON THE DRAWINGS</p> <p>7. OWNER/CONTRACTOR TO AVOID DISTURBING OR DAMAGING EXISTING UTILITIES.</p> <p>8. CALL BEFORE YOU DIG OR CAUSE ANY GROUND DISTURBANCES</p>	<p>0.00' SPOT GRADE ELEVATION</p> <p>AREA OF NEW BUILDING FOOTPRINT</p> <p>AREA OF EXISTING BUILDING FOOTPRINT</p> <p>CONCRETE</p> <p>KEYNOTE</p> <p>PROPERTY LINE</p> <p>REQUIRED SETBACKS</p> <p>DRAINAGE PATTERN</p> <p>EXISTING CONTOURS</p> <p>NEW SEWER LINE</p> <p>NEW DOMESTIC WATER LINE</p> <p>NEW ELECTRICAL &amp; TEL DATA LINE</p> <p>NEW GAS LINE</p> <p>LATERAL FOR FIRE SPRINKLERS</p> <p>NEW OR EXISTING FENCE TO COMPLY WITH ZONING CODE SECTION 37-50.090</p>	<p>TOTAL LOT SIZE: (EXISTING BUILDING FOOTPRINT, PATIO, DECKS, HARDSCAPE, ETC.)</p> <p>TOTAL AREA OF EXISTING IMPERVIOUS SURFACES: (EXISTING BUILDING FOOTPRINT, PATIO, DECKS, HARDSCAPE, ETC.)</p> <p>TOTAL AREA OF NEW IMPERVIOUS SURFACES: (INCREASE TO BUILDING FOOTPRINT, PATIO, DECKS, HARDSCAPE, ETC.)</p> <p>TOTAL AREA OF REPLACES IMPERVIOUS SURFACES: (REPLACEMENT TO BUILDING FOOTPRINT, PATIO, DECKS, HARDSCAPE, ETC.)</p> <p><b>UTILITIES PROVIDERS:</b></p> <p>- GAS: _____</p> <p>- ELECTRIC: _____</p> <p>- WATER: _____</p> <p>- SEWER: _____</p>	<p><b>GRADING INFORMATION:</b></p> <p>EARTHWORK QUANTITIES:</p> <p>___ CUBIC YARDS CUT</p> <p>___ CUBIC YARDS FILL</p> <p>___ CUBIC YARDS IMPORTED/EXPORTED</p> <p>___ CUBIC YARDS OVER-EXCAVATED AND RE-COMPACTED</p> <p>___ TOTAL CUBIC YARD OF EARTHWORK</p> <p><b>FLOOD INFORMATION:</b></p> <p>FEMA FLOOD MAP: _____</p> <p>FLOOD ZONE: _____</p>

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- △

description  
Example  
Site Plan

date September 2023

project no.

drawn by DESIGN PATH STUDIO

sheet no.

**AS.2**





**FIRE SPRINKLER NOTES**

1. IF FIRE SPRINKLERS ARE REQUIRED AT PROPOSED ADU THEN THE FOLLOWING NOTES APPLY.
2. AUTOMATIC FIRE SPRINKLER SYSTEM - AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED AS PER NFPA 13D THE MOST CURRENT EDITION. DETAILED SPRINKLER PLANS SHALL BE SUBMITTED TO THE FIRE PREVENTION BUREAU AND APPROVED PRIOR TO INSTALLATION. PLANS AND INSTALLATION MUST BE BY A C16 LICENSED SPRINKLER CONTRACTOR.
3. SECTION 903.2.1 GROUP R AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R FIRE AREA. THIS INCLUDES SINGLE FAMILY DWELLINGS, MULTI-FAMILY DWELLINGS AND ALL RESIDENTIAL CARE FACILITIES REGARDLESS OF OCCUPANT LOAD.
4. SECTION 903.2.1.1 ADDITIONS AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH 903.3 MAY BE REQUIRED TO BE INSTALLED THROUGHOUT STRUCTURES WHEN THE ADDITION IS MORE THAN 50% OF THE EXISTING BUILDING OR WHEN THE ALTERED BUILDING WILL EXCEED A FIRE FLOW OF 1,500 GALLONS PER MINUTE AS CALCULATED PER SECTION 507.3. THE FIRE CODE OFFICIAL MAY REQUIRE AN AUTOMATIC SPRINKLER SYSTEM BE INSTALLED IN BUILDINGS WHERE NO WATER MAIN EXISTS TO PROVIDE THE REQUIRED FIRE FLOW OR WHERE A SPECIAL HAZARD EXISTS SUCH AS: POOR ACCESS ROADS, GRADE, BLUFFS AND CANYON RIMS, HAZARDOUS BRUSH AND RESPONSE TIMES GREATER THAN 5 MINUTES BY A FIRE DEPARTMENT.
5. SECTION 903.2.1.2 REMODELS OR RECONSTRUCTION AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 MAY BE REQUIRED IF THE SCOPE OF WORK INCLUDES SIGNIFICANT MODIFICATION TO THE INTERIOR AND/OR ROOF OF THE BUILDING, AND THE COST OF THE INSTALLATION DOES NOT EXCEED 15 PERCENT OF THE CONSTRUCTION COSTS OF THE REMODEL.
6. LOCATION AND SIZE OF WATER SERVICE UNDERGROUND SHALL BE INSTALLED AS SHOWN ON APPROVED FIRE SPRINKLER PLANS. A MINIMUM 1 INCH WATER SHALL BE INSTALLED.
7. A FIRE UNDERGROUND FLUSH CERTIFICATION SHALL BE REQUIRED AT FINAL INSPECTION.
8. A HYDRO INSPECTION OF THE FIRE SPRINKLER SYSTEM IS REQUIRED PRIOR TO FRAME INSPECTION. ONLY THE NEW PIPING SHALL BE TESTED.

**ABBREVIATIONS**

ADU	ACCESSORY DWELLING UNIT
AFF	ABOVE FINISH FLOOR
AMP	AMPERE
AWG	AMERICAN WIRE GAUGE
BMP	BEST MANAGEMENT PRACTICE
BM	BEAM
BN	BOUNDARY NAILING
BTTM	BOTTOM
C	COUNTER
CALC	CALCULATION
CFH	CUBIC FEET PER HOUR
CFM	CUBIC FEET PER MINUTE
CONC	CONCRETE
CONT	CONTINUOUS
DBL	DOUBLE
DIA	DIAMETER
DTP	DOUBLE TOP PLATE
DW	DISH WASHER
EQ	EQUAL
FFE	FINISH FLOOR ELEVATION
FIN	FINISH
FR	FIRE RATED
GAL	GALLON
GD	GARBAGE DISPOSAL
GFI	GROUND-FAULT CIRCUIT INTERRUPTER
GI	GALVANIZED IRON
GL	GLASS
GPM	GALLON PER MINUTE
GYP	GYP SUM
HLW	HALLOW
HGT	HEIGHT
HDR	HEADER
HDU	HOLDOWN INSTALLATION
LVL	LEVEL
MIN	MINIMUM
OAE	OR APPROVED EQUIVALENT
OC	ON CENTER
OPER	OPERATION
O	OVEN
OSB	ORIENTED STRAND BOARD
PSI	POUNDS PER SQUARE INCH
PSL	PARALLEL-STRAND LUMBER
PT	POST TENTION
QNTY	QUANTITY
REQ	REQUIRED
REF	REFRIGERATOR
REINF	REINFORCED
SDS	SAFETY DATA SHEET
SIM	SIMILAR
SF	SQUARE FOOTAGE
SHT	SHEET
T	TEMPERED
THICK	THICKNESS
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VB	TYPE 5 B CONSTRUCTION
W/D	WASHER AND DRYER
WD	WOOD
WH	WATER HEATER
WR	WEATHER RESISTANT
V	VOLT

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description  
 Fire General  
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date September 2023

project no.

drawn by DESIGN PATH STUDIO

sheet no. **G0.3**



WINDOW SCHEDULE								
WINDOW	WINDOW SIZE		OPER.	QNTY	FRAME	HEAD HEIGHT	LOCATION	REMARKS
	WIDTH	HEIGHT						
A	3'-0"	4'-6"	SINGLE HUNG	3	VINYL	6'-8"	BEDROOM/LIVING ROOM WINDOWS	
B	3'-0"	3'-0"	S. HUNG/SLIDER	1	VINYL	6'-8"	LIVING ROOM WINDOWS	TEMPERED
C	2'-6"	4'-0"	S.HUNG/CASEMENT	2	VINYL	6'-8"	BEDROOM WINDOW	
D	2'-0"	2'-6"	AWNING	6	VINYL	6'-8"	BEDROOM WINDOW	
E	3'-0"	2'-0"	SLIDER/AWNING	1	VINYL	6'-8"	LIVING ROOM WINDOW	TEMPERED PER PLAN
F	2'-6"	3'-0"	SINGLE HUNG	1	VINYL	6'-8"	KITCHEN WINDOW	TEMPERED PER PLAN
G	2'-6"	2'-0"	SLIDER/CASEMENT	1	VINYL	6'-8"	BATHROOM WINDOW	TEMPERED PER PLAN

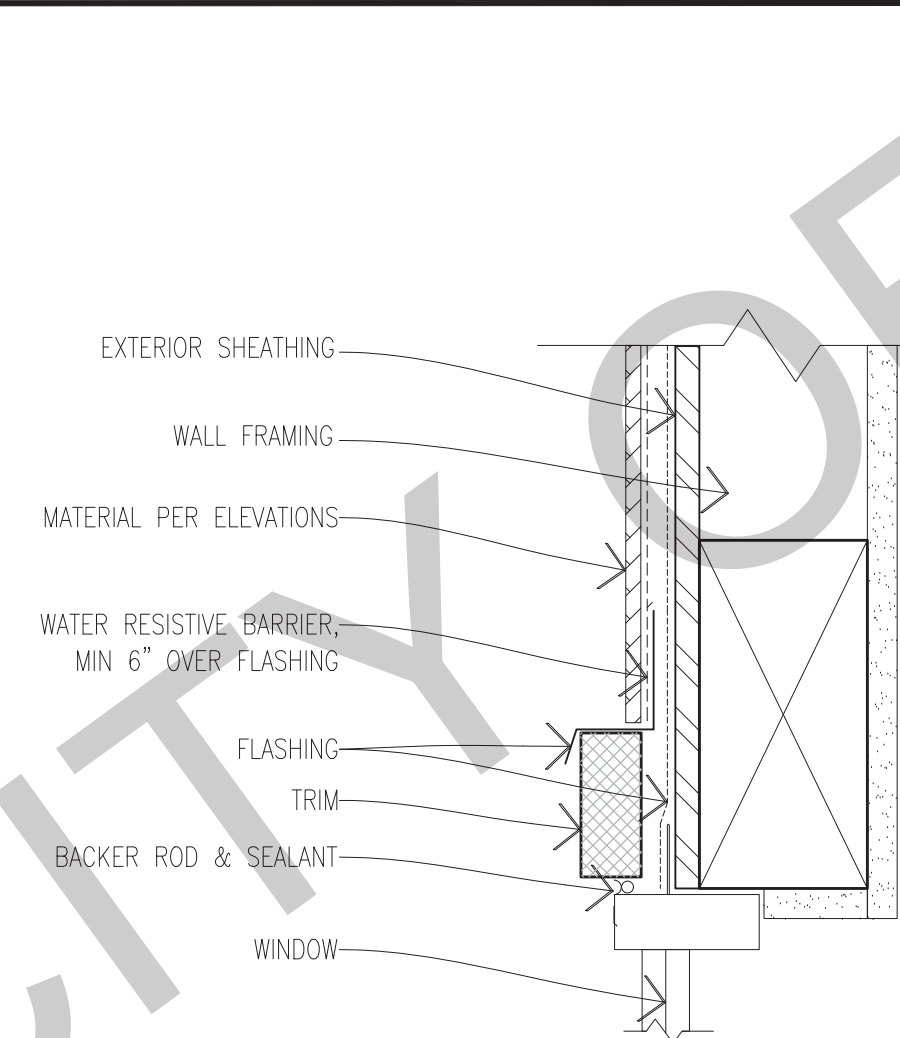
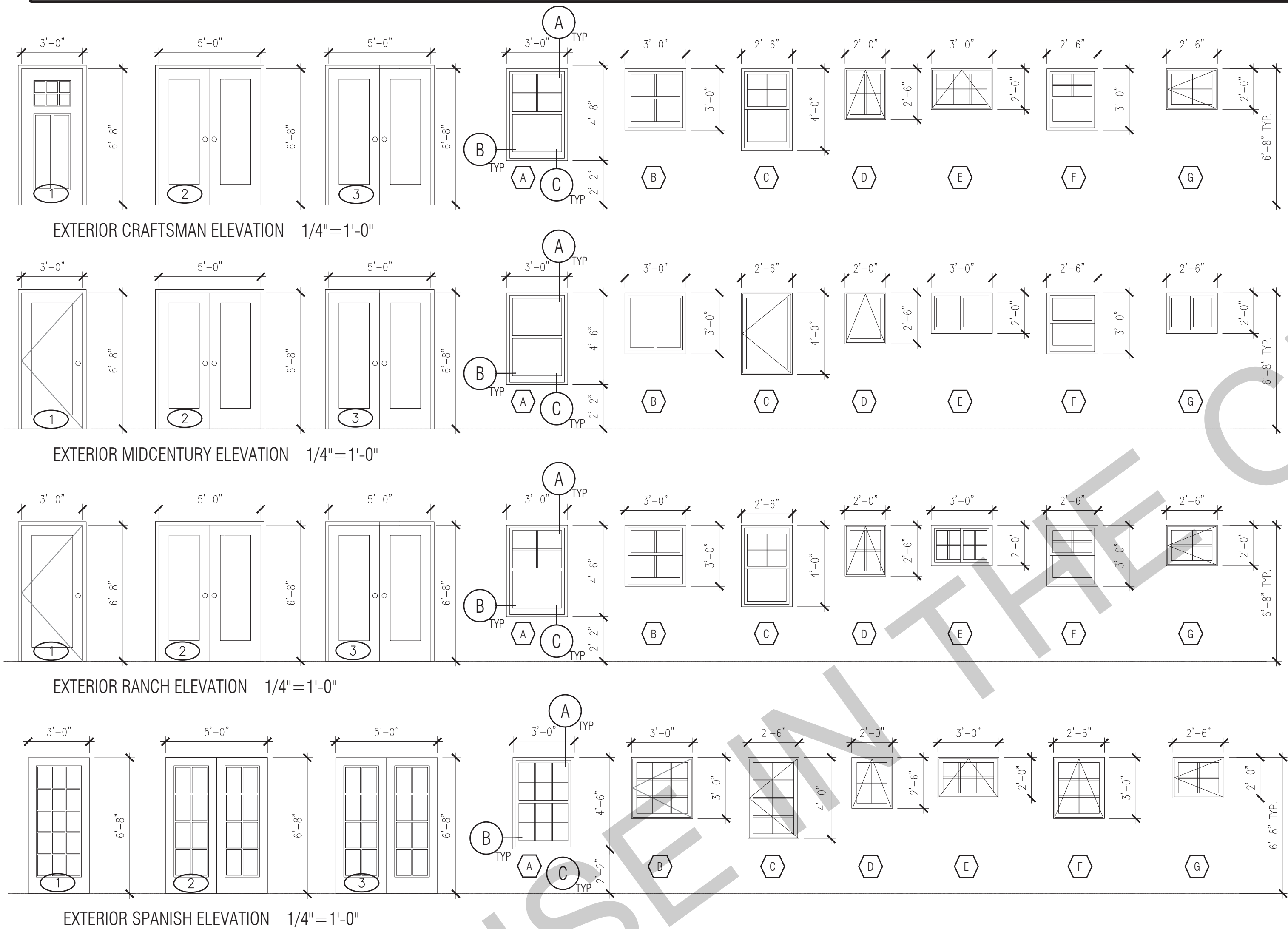
DOOR SCHEDULE									
DOOR	DOOR TYPE	DOOR SIZE			CORE	MATERIAL	FRAME	LOCATION	REMARKS
		WIDTH	HEIGHT	THICK.					
1	SINGLE DOOR	3'-0"	6'-8"	1-3/4"	GL	VNL/GLASS	VINYL	FRONT ENTRY	TEMPERED
2	DOUBLE DOOR	5'-0"	6'-8"	1-3/4"	GL	VNL/GLASS	VINYL	SIDE ENTRY	TEMPERED
3	DOUBLE DOOR	5'-0"	6'-8"	1-3/4"	HLW	WOOD	WD	BEDROOM	
4	SINGLE DOOR	3'-0"	6'-8"	1-3/4"	HLW	WOOD	WD	BATHROOM	
5	SINGLE DOOR	3'-0"	6'-8"	1-3/4"	HLW	WOOD	WD	BEDROOM	
6	SINGLE DOOR	3'-0"	6'-8"	1-3/4"	HLW	WOOD	WD	BEDROOM	
7	CLOSET DOOR	6'-0"	6'-8"	1-3/4"	HLW	WOOD	WD	CLOSET	
8	CLOSET DOOR	6'-0"	6'-8"	1-3/4"	HLW	WOOD	WD	CLOSET	
9	CLOSET DOOR	4'-0"	6'-8"	1-3/4"	HLW	WOOD	WD	WATER HEATER CLOSET	LOUVERED

**WINDOW NOTES**

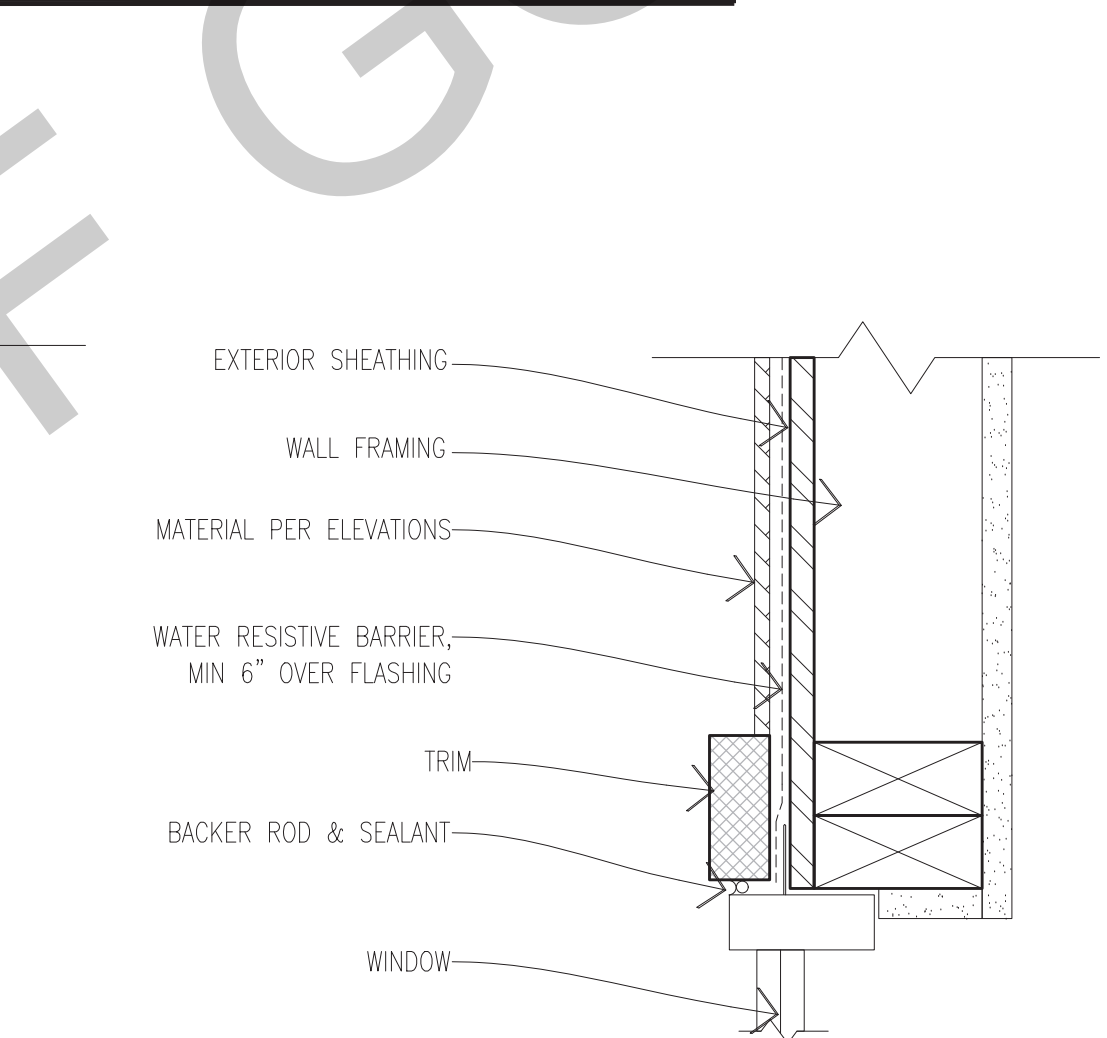
- SEE EXTERIOR ELEVATION FOR DIRECTION OF OPERATION OF WINDOWS (ALL OPERABLE WINDOWS TO HAVE SCREENS).
- ALL WINDOW DIMENSIONS PERTAIN TO ROUGH OPENINGS (R.O.). OWNER/CONTRACTOR TO FIELD VERIFY ACTUAL DIMENSIONS FOR WINDOWS
- ALL GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE NFRC LABEL.
- ALL GLAZING SHALL BE SPECTRALLY SELECTIVE LOW E COATED TO MEET TITLE 24 ENERGY REQUIREMENTS.
- WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 116 E.E.S.D
- VENTILATION SHALL COMPLY WITH C.B.C. 1203.4 AND R303
- EVERY SLEEPING ROOM SHALL HAVE ONE OPERABLE WINDOW FOR EMERGENCY ESCAPE OR RESCUE WITH A MIN. NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. MIN. NET CLEAR OPENABLE HEIGHT OF 24" MIN., NET CLEAR WIDTH OF 20" AND A FIN. SILL HEIGHT OF NOT MORE THAN 44" A.F.F. PER CRC SECTION 3101.
- TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED AND VISIBLE WHEN THE UNIT IS GLAZED.
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL VENTILATION AND NATURAL LIGHT BY MEANS OF VENTILATION / ARTIFICIAL LIGHT. CBC SECTIONS 1203.4 AND 1205.1 AND R303
- A) THE MINIMUM NET GLAZED AREA FOR NATURAL LIGHT SHALL NOT BE LESS THAN 8% OF THE FLOOR AREA OF THE ROOM SERVED. CBC SECTION 1205.2
- B) THE MINIMUM OPENABLE AREA TO THE OUTDOORS FOR NATURAL VENTILATION SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED. SECTION 1203.4
- EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE
- FIRE-RESISTANCE RATED GLAZING TESTED AS PART OF A FIRE-RESISTANCE-RATED WALL ASSEMBLY IN ACCORDANCE WITH ASTM E 119 OR UL 263 TO BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENT OF SECTION 2406. CONSTRUCTED OF GLASS BLOCK UNITS, OR HAVE A FIRE-RESISTIVE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257.

**DOOR NOTES**

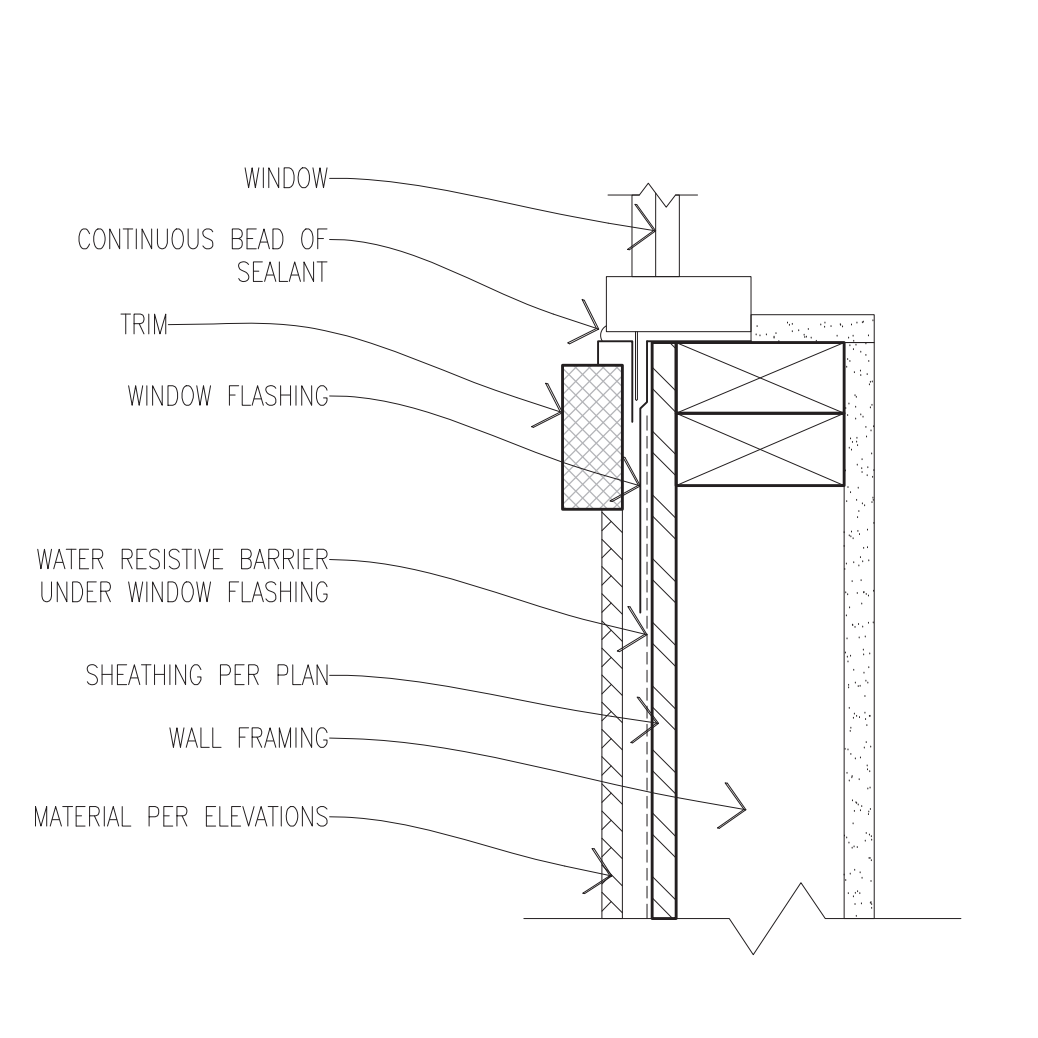
- ALL GLASS IN DOORS SHALL BE TEMPERED. TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED AND VISIBLE WHEN THE UNIT IS GLAZED.
- ALL GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE "U" VALUE.
- REFER TO FLOOR PLANS FOR DIRECTION OF DOOR SWING.
- DOORS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 116 E.E.S.
- VENTILATION SHALL COMPLY WITH C.B.C. 1203.4 AND R303.
- DOORS MAY OPEN TO THE EXTERIOR ONLY IF THE FLOOR OR LANDING IS NOT MORE THAN 1-1/2 INCH LOWER THAN THE DOOR THRESHOLD. SECTION R311.3.1 CRC
- GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE.
- EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF STANDARD SFM 12-7A-1 OR SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITION-RESISTANT MATERIAL, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1 1/4 INCHES THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257.



**A** HEAD SECTION VIEW



**B** JAMB PLAN VIEW



**C** SILL SECTION VIEW

WINDOW DETAILS  
SCALE: 3"=1'-0"

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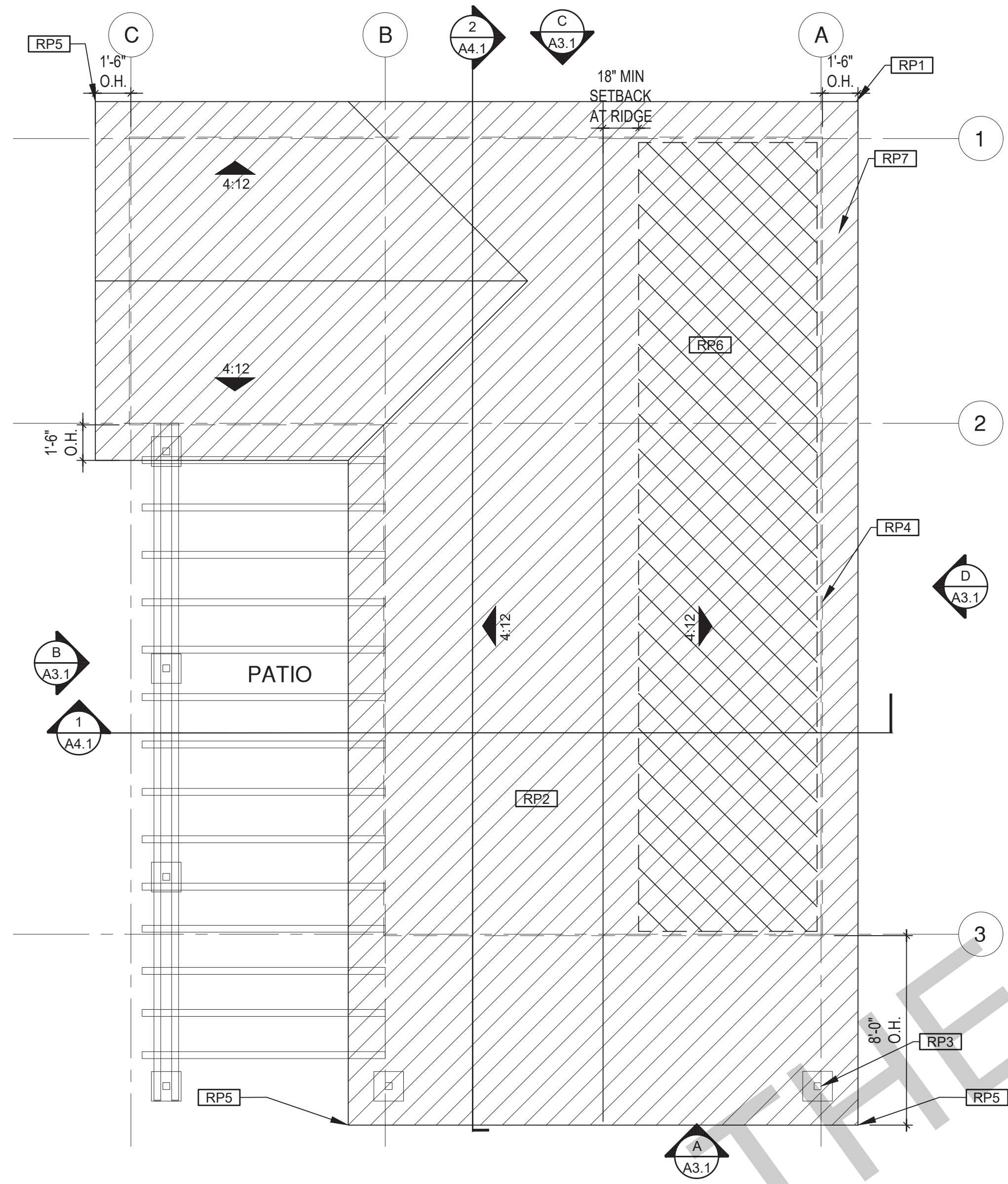
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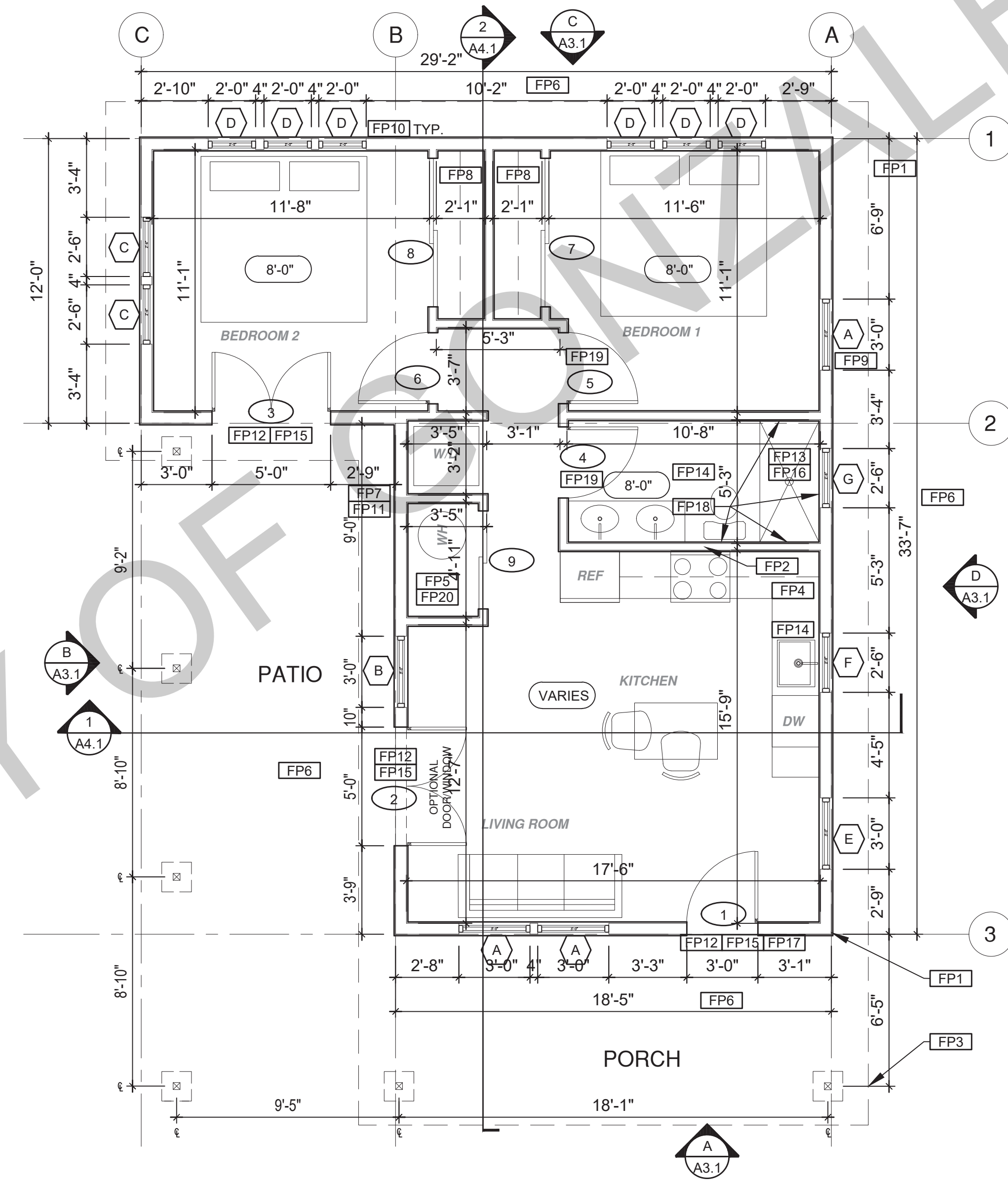
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**ROOF PLAN**  
1/4"=1'-0" 746 SQ. FT. CRAFTSMAN



**FLOOR PLAN**  
1/4"=1'-0" 746 SQ. FT. CRAFTSMAN

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**Roof/Floor Plan  
Craftsman**

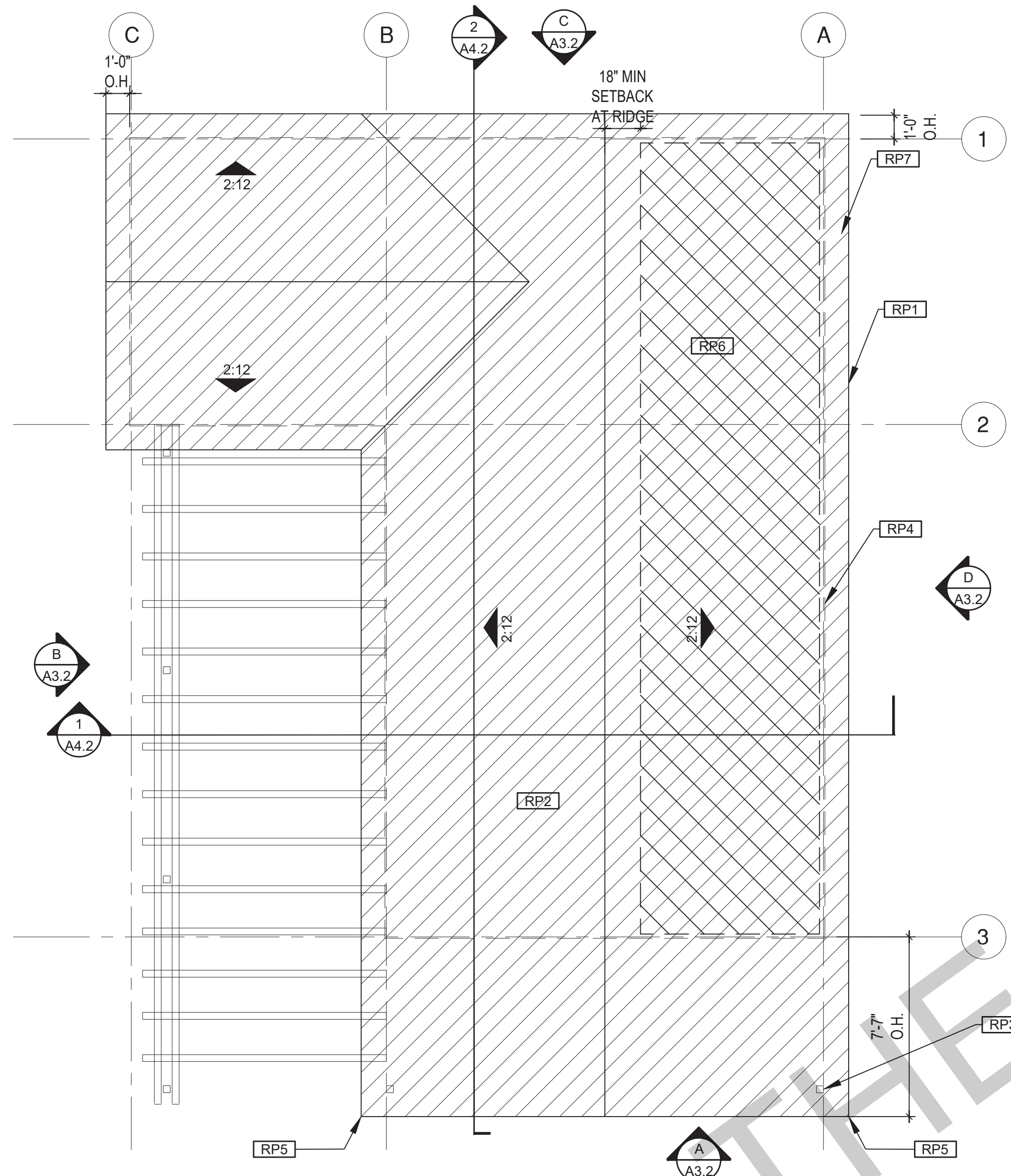
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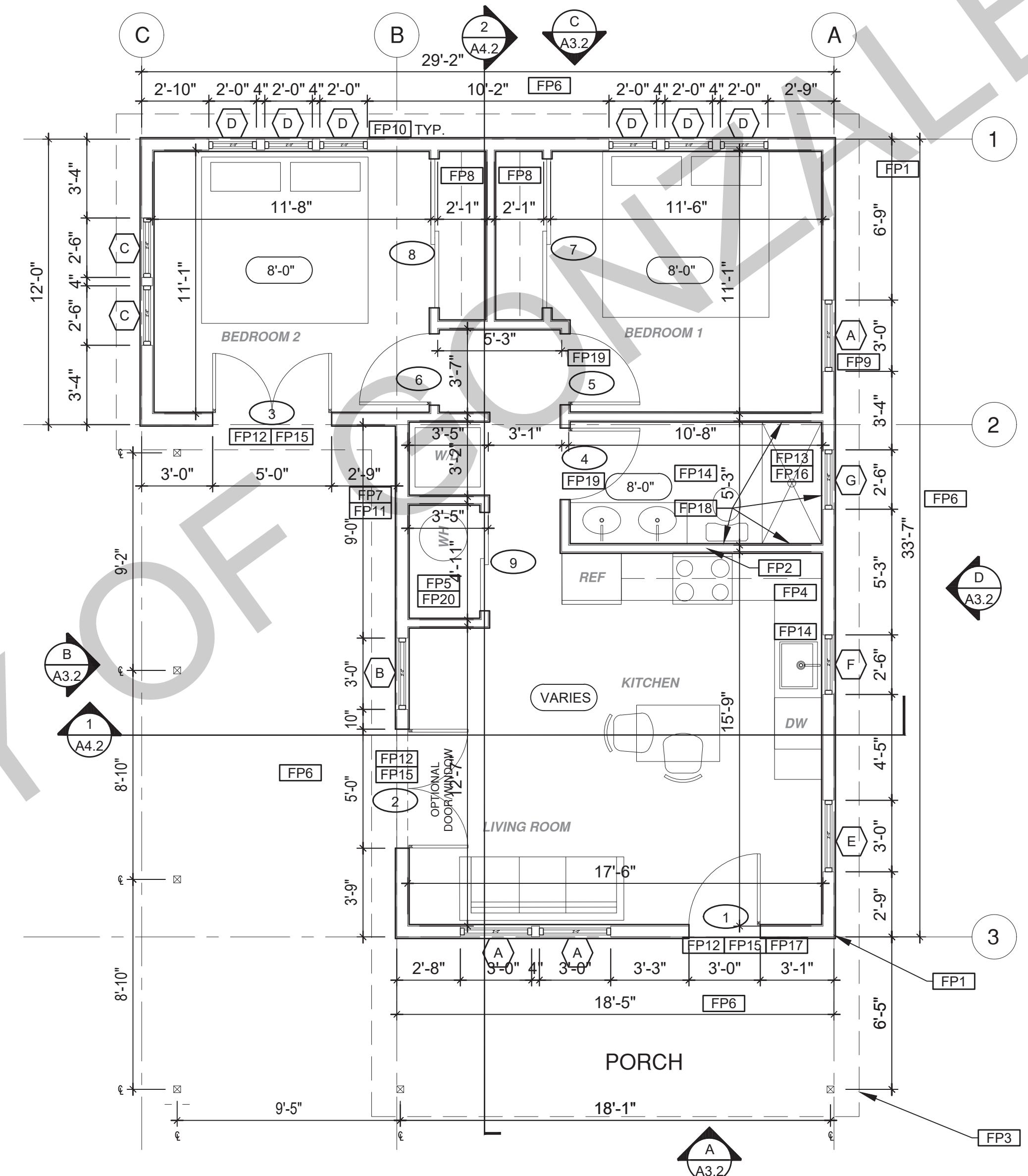
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ROOF KEYNOTES	FLOOR PLAN KEYNOTES	SOLAR READY NOTES	LEGEND
<p><b>RP1</b> LINE OF ROOF OVERHANG</p> <p><b>RP2</b> CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0.2</p> <p><b>RP3</b> SUPPORT POST BELOW</p> <p><b>RP4</b> LINE OF WALLS BELOW</p> <p><b>RP5</b> ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS</p> <p><b>RP6</b> DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR READY NOTES ON THIS SHEET</p> <p><b>RP7</b> RAFTER VENTS TO MEET REQUIRED VENTILATION AREA FOR ENCLOSED RAFTER SPACES. MAX 1/4" MIN 3/4" OPENING SIZE ON VENT SCREEN WITH CORROSION RESISTANT WIRE SCREEN MATERIAL. 1 SF OF VENTING PER 150 SF OF ENCLOSED RAFTER AREA IN NON-FIRE RATED CONSTRUCTION PLEASE SEE VENTING CALCULATIONS OF THIS SHEET</p>	<p><b>FP1</b> STUD WALL SIZED PER STRUCTURAL</p> <p><b>FP2</b> 2X6 STUD WALL OR FURRING AS NEEDED FOR MECHANICAL / PLUMBING / VENTING</p> <p><b>FP3</b> LINE OF OVERHANG ABOVE</p> <p><b>FP4</b> 36" HIGH COUNTER</p> <p><b>FP5</b> WATER HEATER</p> <p><b>FP6</b> SLOPE SURFACE AWAY FROM BUILDING</p> <p><b>FP7</b> DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING</p> <p><b>FP8</b> CLOSET SHELF AND POLE</p> <p><b>FP9</b> EMERGENCY EGRESS WINDOW</p> <p><b>FP10</b> WINDOW MUST HAVE A FRAME AND SASH COMPRISED OF WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND CONSTRUCTED OF MULTIPANE TEMPERED GLAZING WHERE INDICATED TYPICAL ALL WINDOWS</p> <p><b>FP11</b> VENT DRYER THROUGH WALL. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION</p> <p><b>FP12</b> MIN. 1 HINGED ENTRY DOOR FOR EGRESS COMPLIANCE REQUIRED - THE EGRESS DOOR SHALL BE SIDE-HINGED AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90°. THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP</p> <p><b>FP13</b> SHOWER ENCLOSURE MUST BE TEMPERED. GLAZING IN THE WALLS/DOORS FACING OR CONTAINING BATHTUBS, SHOWERS, HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS AND INDOOR/OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE STANDING SURFACE. EXCEPTION: GLAZING THAT IS MORE THAN 60" MEASURED HORIZONTALLY, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL. SHOWER DOORS SHALL OPEN AS TO MAINTAIN NOT LESS THAN A 22-INCH UNOBSTRUCTED OPENING FOR EGRESS.</p> <p><b>FP14</b> PER SECTION 301.1.1 CALGREEN AND CIVIL CODE 1101.3(c), ALL PLUMBING FIXTURES SHALL BE COMPLIANT WATER-CONSERVING PLUMBING FIXTURES. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION</p> <p><b>FP15</b> LANDING OR FLOOR REQUIRED AT EACH SIDE OF EXTERIOR DOOR. WIDTH TO BE NOT LESS THAN THE DOOR SERVED AND HAVE A MIN 36 INCH DEPTH MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 2" PER FOOT. LANDINGS OR FINISHED FLOORS AT EGRESS DOOR SHALL NOT BE MORE THAN 1.5" LOWER THAN THE TOP OF THE THRESHOLD FOR OUTWARD SWINGING DOORS OR 7.75" FOR DOORS THAT DO NOT SWING OUTWARD.</p> <p><b>FP16</b> WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS USED AS BACKERS FOR WALL TILE IN TUBE AND REINFORCED GYPSUM PANELS, NON-ASBESTOS FIBER CEMENT BACKER BOARD, OR NON-ASBESTOS FIBER CEMENT REINFORCED CEMENTITIOUS BACKER UNITS INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.</p> <p><b>FP17</b> DOOR BELL BUTTON TO BE NO MORE THAN 48" ABOVE EXTERIOR FLOOR OR LANDING</p> <p><b>FP18</b> WATER CLOSET AND SHOWER TO HAVE REINFORCEMENT IN WALLS 2X8 NOMINAL AT 32" TO 39.5" ABOVE FINISH FLOOR. SEE FLOOR PLAN GENERAL NOTE #28 ON SHEET G0.2 FOR FURTHER INFORMATION. WHERE THE WATER CLOSET IS NOT PLACED ADJACENT TO A SIDE WALL CAPABLE OF ACCOMMODATING A GRAB BAR, THE BATHROOM SHALL HAVE PROVISIONS FOR INSTALLATION OF FLOOR-MOUNTED, FOLD-AWAY OR SIMILAR ALTERNATE GRAB BAR REINFORCEMENTS APPROVED BY THE ENFORCING AGENCY.</p> <p><b>FP19</b> DOOR TO HAVE A NET CLEAR OPENING OF 32"</p> <p><b>FP20</b> DESIGNATED 2'-6" x 2'-6" x 7' TALL MINIMUM AREA FOR INSTALLATION OF AN ELECTRIC HYBRID HEAT PUMP WATER HEATER PER CEC 2022 SECTION 150.0(N)</p> <p><b>FP21</b> FURRING AS NEEDED FOR STANDARD TUB AND SHOWER LENGTH</p>	<p>SOLAR READY ROOF AREA: MIN DIMENSION &gt; 5FT. MIN. SF &gt; 80SF. PER CALIFORNIA ENERGY CODE SECTION 110.10(b)</p> <p>THE SOLAR ZONE SHALL COMPLY WITH ACCESS, PATHWAY, SMOKE VENTILATION, AND SPACING REQUIREMENTS AS SPECIFIED IN TILE 24, PART 9 OR OTHER PARTS OF TITLE 24 OR IN ANY REQUIREMENTS ADOPTED BY LOCAL JURISDICTION</p> <p>SINGLE FAMILY RESIDENCE. THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF OR OVERHANG OF THE BUILDING AND HAVE A TOTAL AREA OF NO LESS THAN 250SQFT.</p> <p>FOR PHOTOVOLTAIC ARRAYS OCCUPYING NOT MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN AN 18-INCH (457 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN A 36-INCH (914 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE.</p> <p>CAPACITY OF THE PV SYSTEMS PER THE CF1R-PRF_PV SYSTEM EXEMPT</p> <p><b>VENTING CALCULATIONS</b></p> <p>ROOF VENTING: 1SF. OF ROOF VENTING PER 150 SF. OF ENCLOSED AREA OR ENCLOSED RAFTER AREA. 746 SF. VENTILATION AREA REQUIRED. 746 SF / 150SF = 4.97 SF. CONVERT TO SQ. IN. 4.97 SF x 144 = 716 SQ. IN. MINIMUM VENTILATION AREA REQUIRED_716 SQ. IN.</p>	<p><b>SECTION CUT</b> (Symbol: Roof section cut)</p> <p><b>ELEVATION CALLOUT</b> (Symbol: Roof elevation callout)</p> <p><b>DETAIL DRAWING REF.</b> (Symbol: Roof detail drawing ref.)</p> <p><b>WALL BELOW OR ROOF ABOVE</b> (Symbol: Roof wall below/above)</p> <p><b>SOLAR ZONE. REFER TO SOLAR NOTES ON SHEET G0.2</b> (Symbol: Solar zone hatched)</p> <p><b>ROOFING</b> (Symbol: Roofing hatched)</p> <p><b>KEYNOTE</b> (Symbol: X)</p> <p><b>DOOR SYMBOL</b> (Symbol: X)</p> <p><b>WINDOW SYMBOL</b> (Symbol: X)</p> <p><b>CEILING HEIGHTS</b> (Symbol: X-X')</p> <p><b>VAULTED CEILING</b> (Symbol: V)</p> <p><b>ROOF SLOPE</b> (Symbol: X:12)</p>



**ROOF PLAN**  
1/4"=1'-0" 746 SQ. FT. MIDCENTURY



**FLOOR PLAN**  
1/4"=1'-0" 746 SQ. FT. MIDCENTURY

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project  
City of Gonzales  
Pre-Approved ADU  
Plans

revisions  
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description  
**Roof/Floor Plan  
Midcentury**

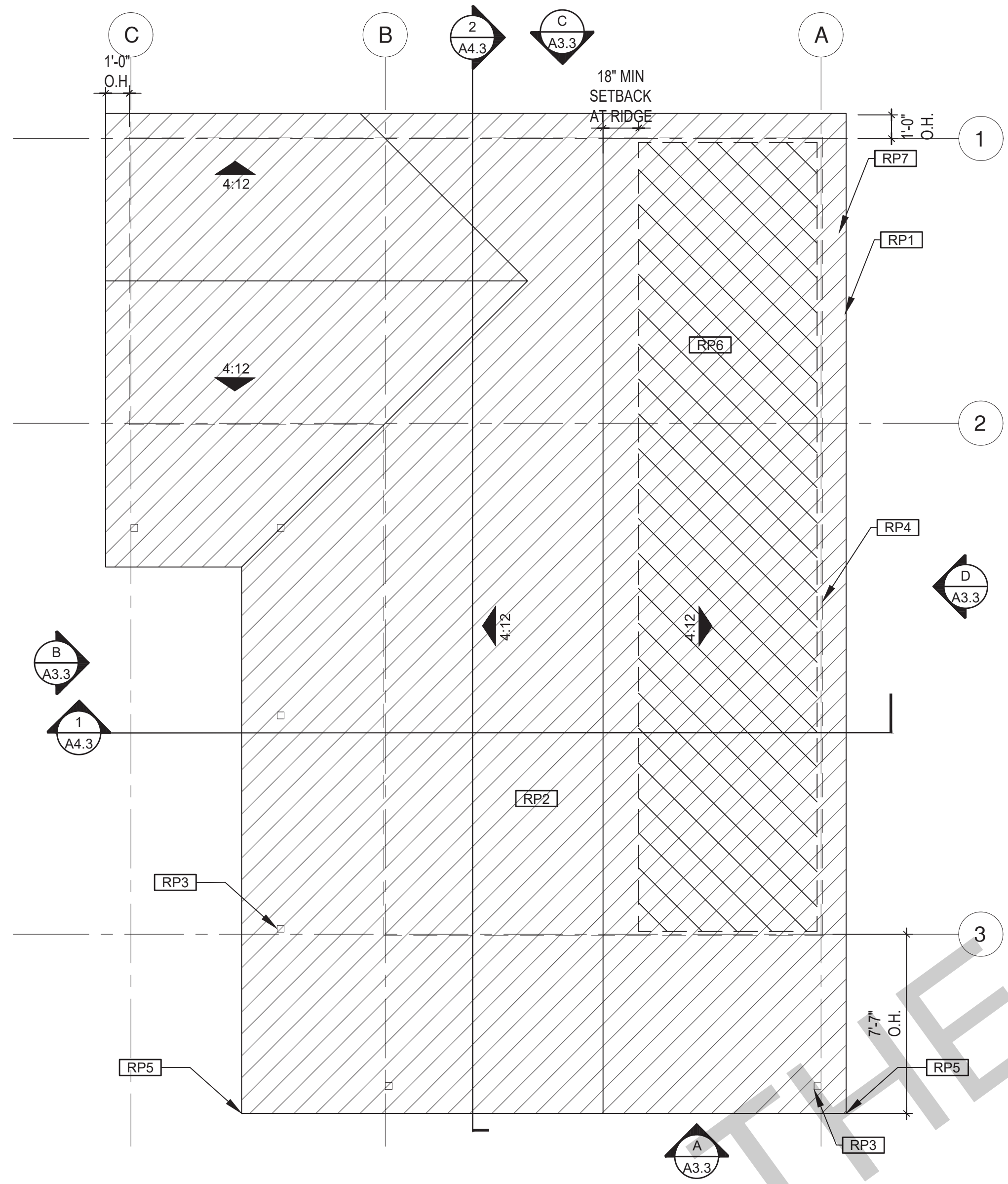
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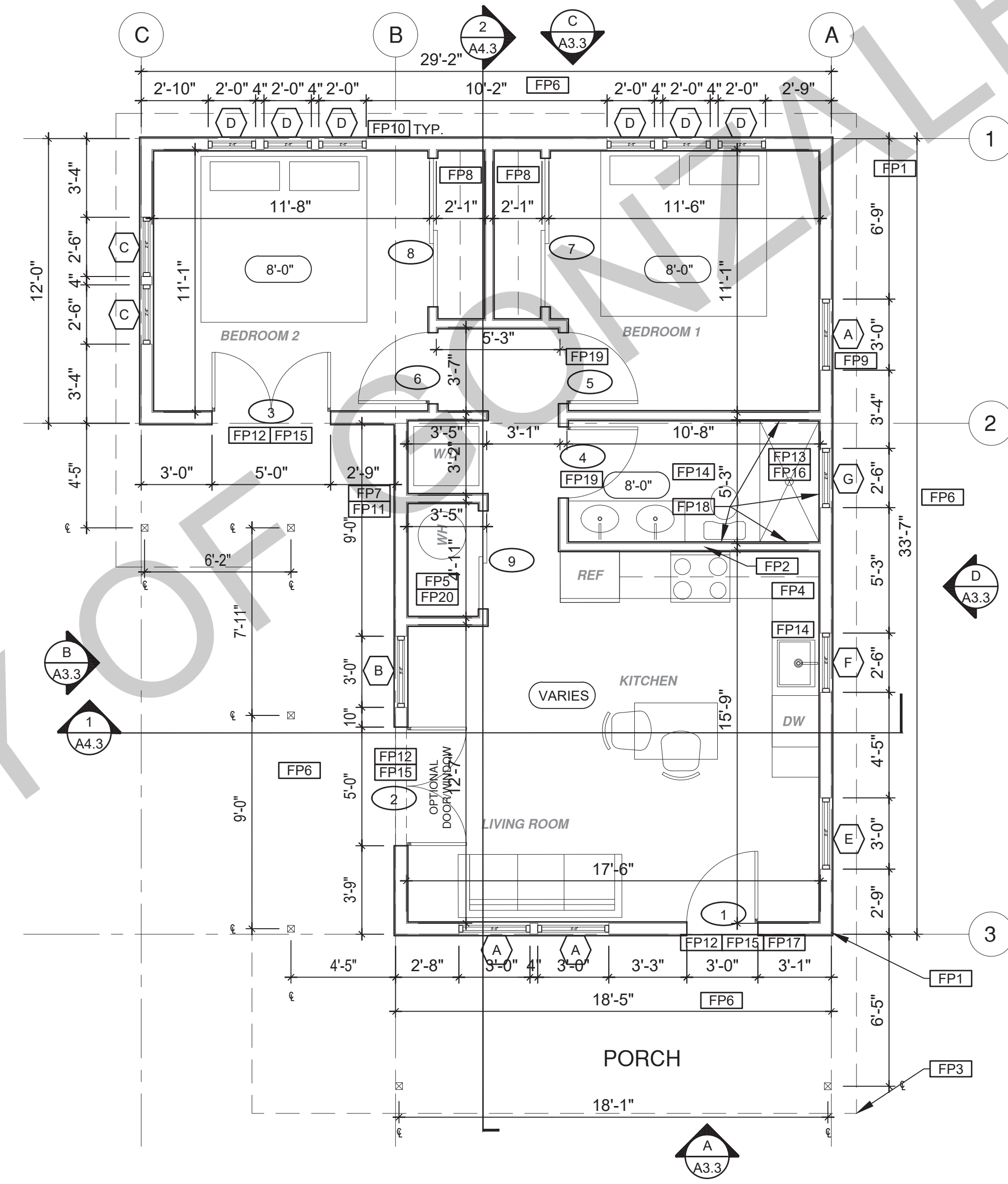
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sheet no. **A1.2**

ROOF KEYNOTES	FLOOR PLAN KEYNOTES	SOLAR READY NOTES	LEGEND
<p><b>RP1</b> LINE OF ROOF OVERHANG</p> <p><b>RP2</b> CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0.2</p> <p><b>RP3</b> SUPPORT POST BELOW</p> <p><b>RP4</b> LINE OF WALLS BELOW</p> <p><b>RP5</b> ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS</p> <p><b>RP6</b> DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR READY NOTES ON THIS SHEET</p> <p><b>RP7</b> RAFTER VENTS TO MEET REQUIRED VENTILATION AREA FOR ENCLOSED RAFTER SPACES. MAX 1/4" MIN 3/4" OPENING SIZE ON VENT SCREEN WITH CORROSION RESISTANT WIRE SCREEN MATERIAL. 1 SF OF VENTING PER 150 SF OF ENCLOSED RAFTER AREA IN NON-FIRE RATED CONSTRUCTION PLEASE SEE VENTING CALCULATIONS OF THIS SHEET</p>	<p><b>FP1</b> STUD WALL SIZED PER STRUCTURAL</p> <p><b>FP2</b> 2X6 STUD WALL OR FURRING AS NEEDED FOR MECHANICAL / PLUMBING / VENTING</p> <p><b>FP3</b> LINE OF OVERHANG ABOVE</p> <p><b>FP4</b> 36" HIGH COUNTER</p> <p><b>FP5</b> WATER HEATER</p> <p><b>FP6</b> SLOPE SURFACE AWAY FROM BUILDING</p> <p><b>FP7</b> DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING</p> <p><b>FP8</b> CLOSET SHELF AND POLE</p> <p><b>FP9</b> EMERGENCY EGRESS WINDOW</p> <p><b>FP10</b> WINDOW MUST HAVE A FRAME AND SASH COMPRISED OF WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND CONSTRUCTED OF MULTIPANE TEMPERED GLAZING WHERE INDICATED TYPICAL ALL WINDOWS</p> <p><b>FP11</b> VENT DRYER THROUGH WALL. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION</p> <p><b>FP12</b> MIN. 1 HINGED ENTRY DOOR FOR EGRESS COMPLIANCE REQUIRED - THE EGRESS DOOR SHALL BE SIDE HINGED AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90°. THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP</p> <p><b>FP13</b> SHOWER ENCLOSURE MUST BE TEMPERED. GLAZING IN THE WALLS/DOORS FACING OR CONTAINING BATHTUBS, SHOWERS, HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS AND INDOOR/OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE STANDING SURFACE. EXCEPTION: GLAZING THAT IS MORE THAN 60" MEASURED HORIZONTALLY, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL. 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IN.</p>	<p><b>SECTION CUT</b> (Symbol: Triangle with line) KEYNOTE (Symbol: X)</p> <p><b>ELEVATION CALLOUT</b> (Symbol: Circle with line) DOOR SYMBOL (Symbol: X)</p> <p><b>DETAIL DRAWING REF.</b> (Symbol: Square with line) WINDOW SYMBOL (Symbol: X)</p> <p><b>WALL BELOW OR ROOF ABOVE</b> (Symbol: Dashed line) CEILING HEIGHTS (Symbol: X-X')</p> <p><b>SOLAR ZONE. REFER TO SOLAR NOTES ON SHEET G0.2</b> (Symbol: Diagonal lines) VAULTED CEILING (Symbol: VARIES)</p> <p><b>ROOFING</b> (Symbol: Diagonal lines) ROOF SLOPE (Symbol: X:12)</p>



**ROOF PLAN**  
1/4"=1'-0" 746 SQ. FT. RANCH



**FLOOR PLAN**  
1/4"=1'-0" 746 SQ. FT. RANCH

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project  
City of Gonzales  
Pre-Approved ADU  
Plans

revisions  
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description  
**Roof/Floor Plan  
Ranch**

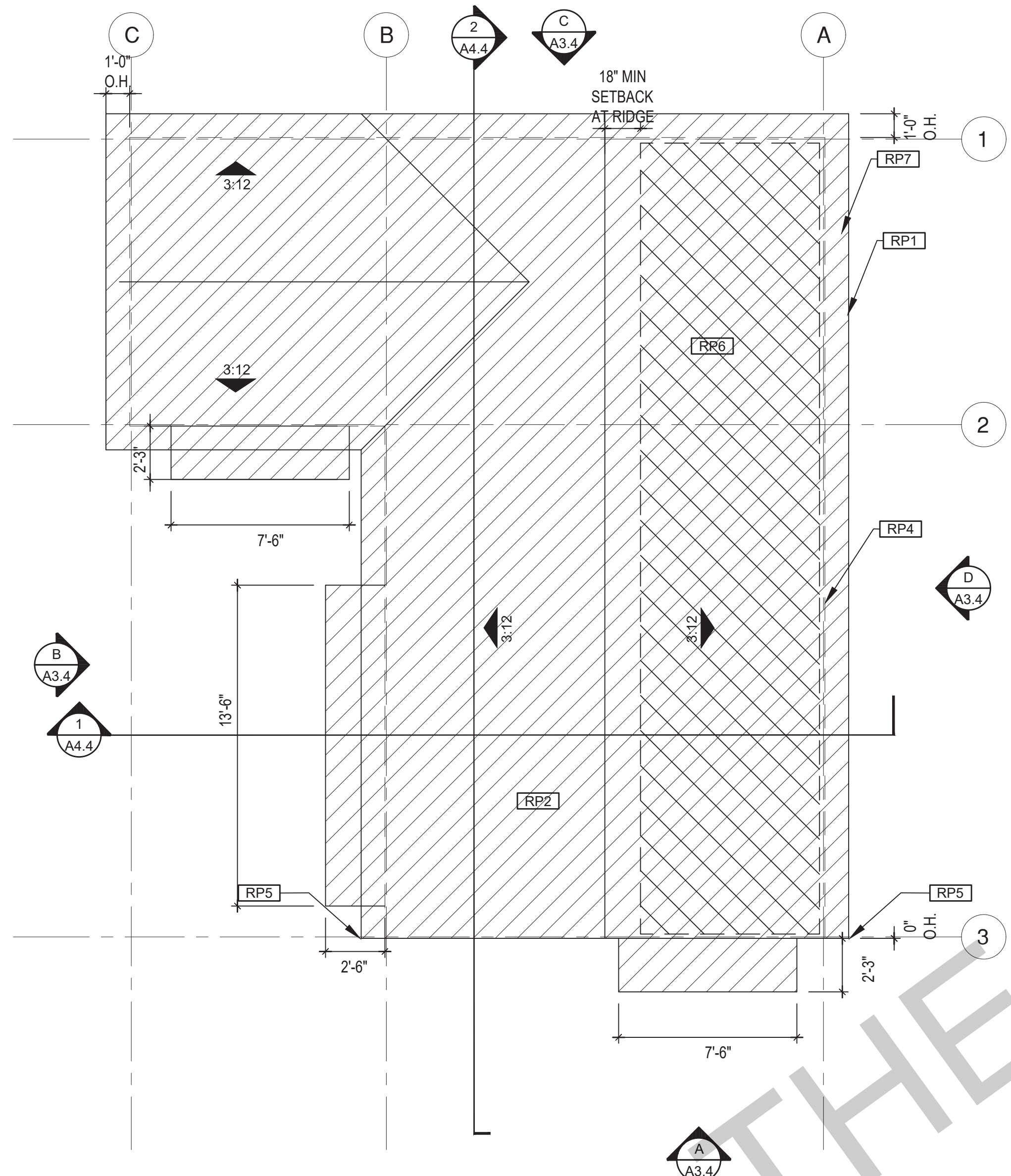
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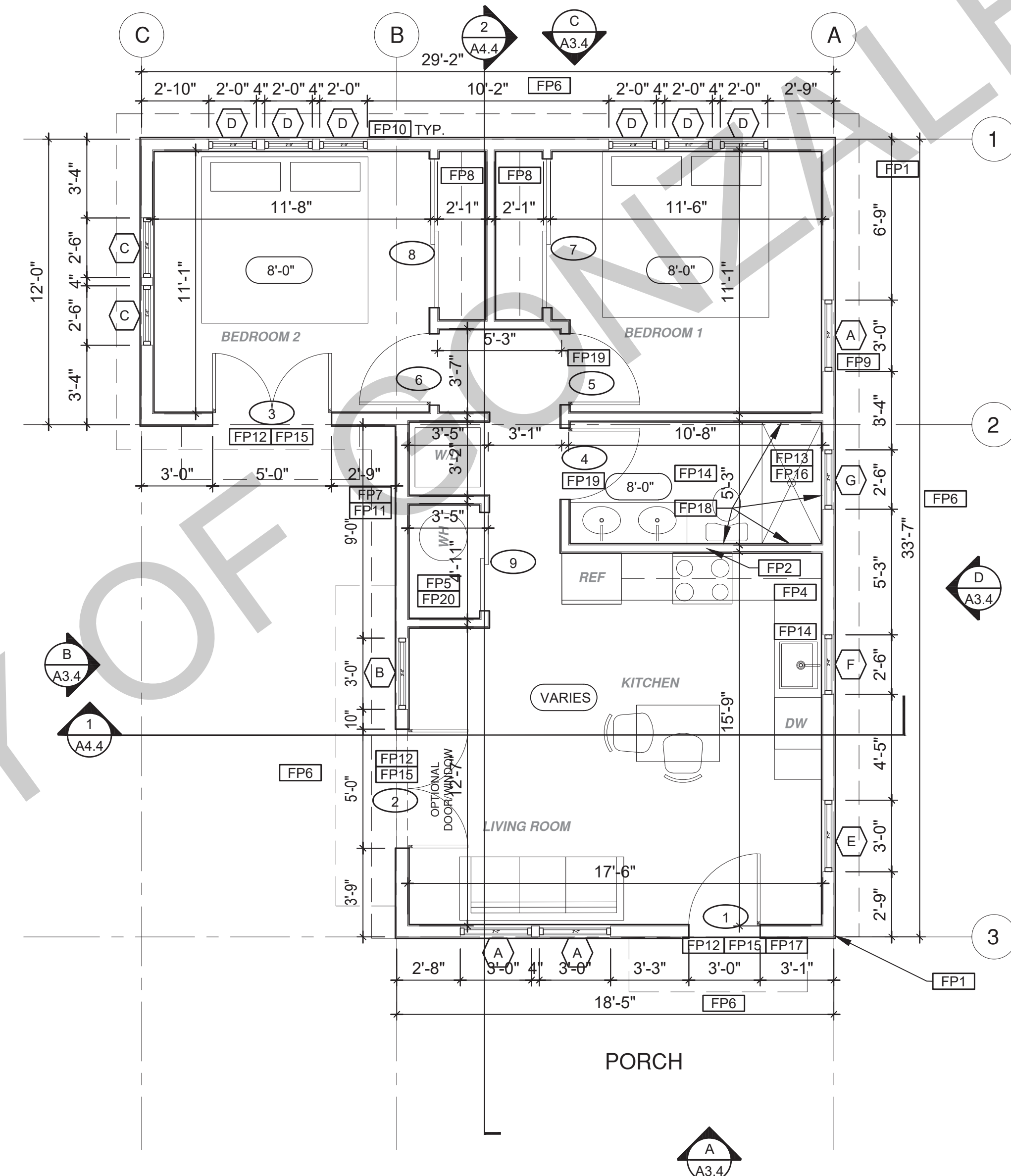
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ROOF KEYNOTES	FLOOR PLAN KEYNOTES	SOLAR READY NOTES	LEGEND
<p><b>RP1</b> LINE OF ROOF OVERHANG</p> <p><b>RP2</b> CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0.2</p> <p><b>RP3</b> SUPPORT POST BELOW</p> <p><b>RP4</b> LINE OF WALLS BELOW</p> <p><b>RP5</b> ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS</p> <p><b>RP6</b> DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR READY NOTES ON THIS SHEET</p> <p><b>RP7</b> RAFTER VENTS TO MEET REQUIRED VENTILATION AREA FOR ENCLOSED RAFTER SPACES. 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MATERIALS USED AS BACKERS FOR WALL TILE IN TUBE AND REINFORCED GYPSUM PANELS, NON-ASBESTOS FIBER CEMENT BACKER BOARD, OR NON-ASBESTOS FIBER CEMENT REINFORCED CEMENTITIOUS BACKER UNITS INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.</p> <p><b>FP17</b> DOOR BELL BUTTON TO BE NO MORE THAN 48" ABOVE EXTERIOR FLOOR OR LANDING</p> <p><b>FP18</b> WATER CLOSET AND SHOWER TO HAVE REINFORCEMENT IN WALLS 2X8 NOMINAL AT 32" TO 39.5" ABOVE FINISH FLOOR. SEE FLOOR PLAN GENERAL NOTE #28 ON SHEET G0.2 FOR FURTHER INFORMATION. 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THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF OR OVERHANG OF THE BUILDING AND HAVE A TOTAL AREA OF NO LESS THAN 250SQFT.</p> <p>FOR PHOTOVOLTAIC ARRAYS OCCUPYING NOT MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN AN 18-INCH (457 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN A 36-INCH (914 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE.</p> <p>CAPACITY OF THE PV SYSTEMS PER THE CF1R-PRF_PV SYSTEM EXEMPT</p> <p><b>VENTING CALCULATIONS</b></p> <p>ROOF VENTING: 15F. OF ROOF VENTING PER 150 SF. OF ENCLOSED AREA OR ENCLOSED RAFTER AREA. 746 SF. VENTILATION AREA REQUIRED: 746 SF / 150SF = 4.97 SF. CONVERT TO SQ. IN. 4.97 SF x 144 = 716 SQ. IN. MINIMUM VENTILATION AREA REQUIRED: 716 SQ. IN.</p>	<p><b>SECTION CUT</b> (Symbol: Triangle with line) KEYNOTE (Symbol: X)</p> <p><b>ELEVATION CALLOUT</b> (Symbol: Circle with line) DOOR SYMBOL (Symbol: X)</p> <p><b>DETAIL DRAWING REF.</b> (Symbol: Square with line) WINDOW SYMBOL (Symbol: X)</p> <p><b>WALL BELOW OR ROOF ABOVE</b> (Symbol: Dashed line) CEILING HEIGHTS (Symbol: X-X)</p> <p><b>SOLAR ZONE. REFER TO SOLAR NOTES ON SHEET G0.2</b> (Symbol: Diagonal lines) VAULTED CEILING (Symbol: Varies)</p> <p><b>ROOFING</b> (Symbol: Diagonal lines) ROOF SLOPE (Symbol: X:12)</p>



**ROOF PLAN**  
1/4"=1'-0" 746 SQ. FT. SPANISH



**FLOOR PLAN**  
1/4"=1'-0" 746 SQ. FT. SPANISH

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2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS.
3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.
4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

project  
City of Gonzales  
Pre-Approved ADU  
Plans

revisions  
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△

description  
**Roof/Floor Plan  
Spanish**

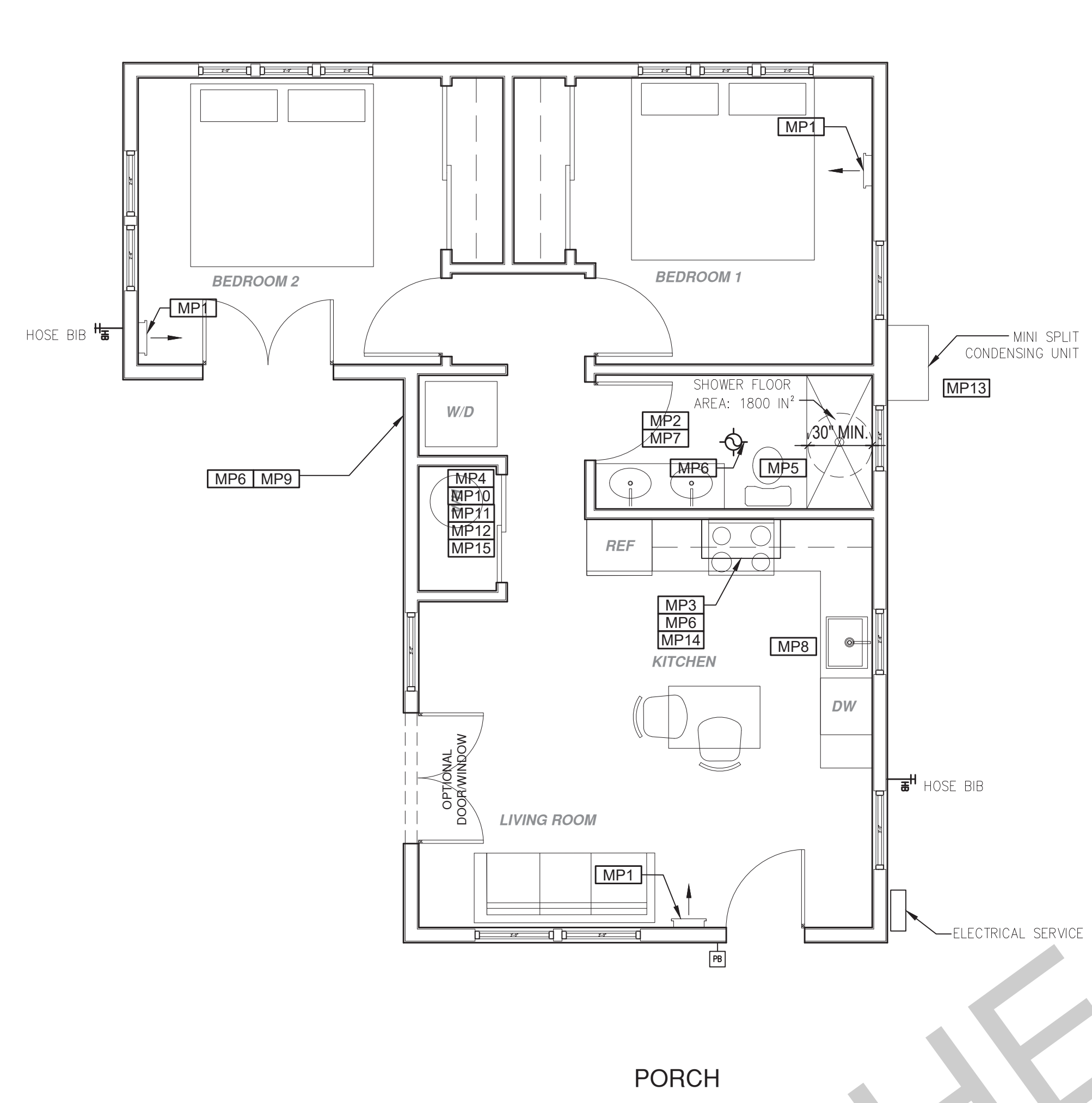
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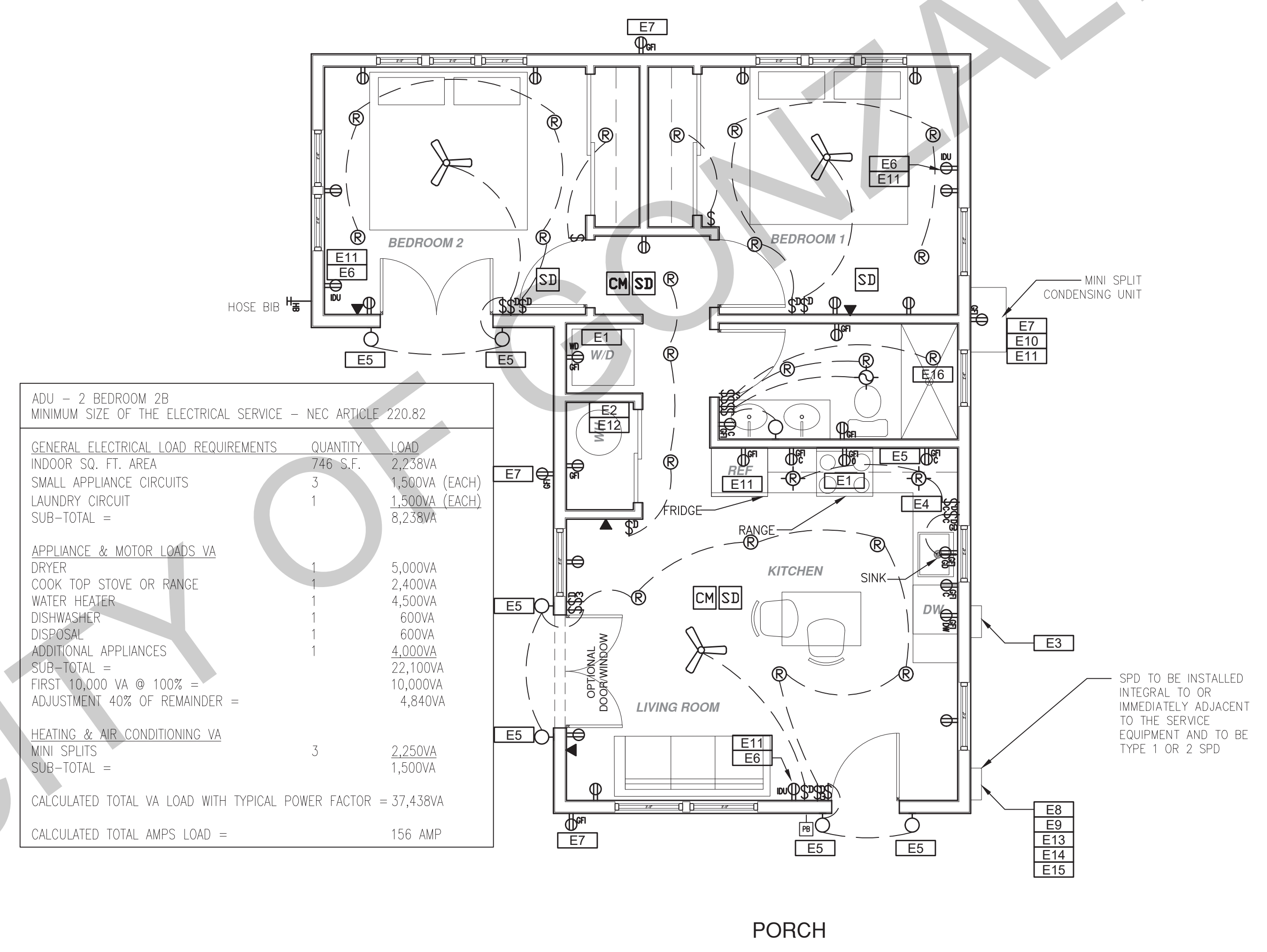
drawn by DESIGN PATH STUDIO

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ROOF KEYNOTES	FLOOR PLAN KEYNOTES	SOLAR READY NOTES	LEGEND
<p><b>RP1</b> LINE OF ROOF OVERHANG</p> <p><b>RP2</b> CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0.2</p> <p><b>RP3</b> SUPPORT POST BELOW</p> <p><b>RP4</b> LINE OF WALLS BELOW</p> <p><b>RP5</b> ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS</p> <p><b>RP6</b> DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR READY NOTES ON THIS SHEET</p> <p><b>RP7</b> RAFTER VENTS TO MEET REQUIRED VENTILATION AREA FOR ENCLOSED RAFTER SPACES. MAX 7/8" MIN 1/4" OPENING SIZE ON VENT SCREEN WITH CORROSION RESISTANT WIRE SCREEN MATERIAL. 1 SF OF VENTING PER 150 SF OF ENCLOSED RAFTER AREA IN NON-FIRE RATED CONSTRUCTION PLEASE SEE VENTING CALCULATIONS OF THIS SHEET</p>	<p><b>FP1</b> STUD WALL SIZED PER STRUCTURAL</p> <p><b>FP2</b> 2X6 STUD WALL OR FURRING AS NEEDED FOR MECHANICAL / PLUMBING / VENTING</p> <p><b>FP3</b> LINE OF OVERHANG ABOVE</p> <p><b>FP4</b> 36" HIGH COUNTER</p> <p><b>FP5</b> WATER HEATER</p> <p><b>FP6</b> SLOPE SURFACE AWAY FROM BUILDING</p> <p><b>FP7</b> DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING</p> <p><b>FP8</b> CLOSET SHELF AND POLE</p> <p><b>FP9</b> EMERGENCY EGRESS WINDOW</p> <p><b>FP10</b> WINDOW MUST HAVE A FRAME AND SASH COMPRISED OF WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND CONSTRUCTED OF MULTIPANE TEMPERED GLAZING WHERE INDICATED TYPICAL ALL WINDOWS</p> <p><b>FP11</b> VENT DRYER THROUGH WALL. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION</p> <p><b>FP12</b> MIN. 1 HINGED ENTRY DOOR FOR EGRESS COMPLIANCE REQUIRED - THE EGRESS DOOR SHALL BE SIDE HINGED AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90°. THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP</p> <p><b>FP13</b> SHOWER ENCLOSURE MUST BE TEMPERED. GLAZING IN THE WALLS/DOORS FACING OR CONTAINING BATHTUBS, SHOWERS, HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS AND INDOOR/OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE STANDING SURFACE. EXCEPTION: GLAZING THAT IS MORE THAN 60" MEASURED HORIZONTALLY, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL. SHOWER DOORS SHALL OPEN AS TO MAINTAIN NOT LESS THAN A 22-INCH UNOBSTRUCTED OPENING FOR EGRESS.</p> <p><b>FP14</b> PER SECTION 301.1.1 CALGREEN AND CIVIL CODE 1101.3(C), ALL PLUMBING FIXTURES SHALL BE COMPLIANT WATER-CONSERVING PLUMBING FIXTURES. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION</p> <p><b>FP15</b> LANDING OR FLOOR REQUIRED AT EACH SIDE OF EXTERIOR DOOR. WIDTH TO BE NOT LESS THAN THE DOOR SERVED AND HAVE A MIN 36 INCH DEPTH MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 2" PER FOOT. LANDINGS OR FINISHED FLOORS AT EGRESS DOOR SHALL NOT BE MORE THAN 1.5" LOWER THAN THE TOP OF THE THRESHOLD FOR OUTWARD SWINGING DOORS OR 7.75" FOR DOORS THAT DO NOT SWING OUTWARD.</p> <p><b>FP16</b> WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS USED AS BACKERS FOR WALL TILE IN TUBE AND REINFORCED GYPSUM PANELS, NON-ASBESTOS FIBER CEMENT BACKER BOARD, OR NON-ASBESTOS FIBER CEMENT REINFORCED CEMENTITIOUS BACKER UNITS INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.</p> <p><b>FP17</b> DOOR BELL BUTTON TO BE NO MORE THAN 48" ABOVE EXTERIOR FLOOR OR LANDING</p> <p><b>FP18</b> WATER CLOSET AND SHOWER TO HAVE REINFORCEMENT IN WALLS 2X8 NOMINAL AT 32" TO 39.5" ABOVE FINISH FLOOR. SEE FLOOR PLAN GENERAL NOTE #28 ON SHEET G0.2 FOR FURTHER INFORMATION. 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IN.</p>	<p><b>SECTION CUT</b> (Symbol: Roof section cut)</p> <p><b>ELEVATION CALLOUT</b> (Symbol: Roof elevation callout)</p> <p><b>DETAIL DRAWING REF.</b> (Symbol: Roof detail drawing ref.)</p> <p><b>WALL BELOW OR ROOF ABOVE</b> (Symbol: Roof wall below/above)</p> <p><b>SOLAR ZONE. REFER TO SOLAR NOTES ON SHEET G0.2</b> (Symbol: Solar zone hatched)</p> <p><b>ROOFING</b> (Symbol: Roof hatched)</p> <p><b>KEYNOTE</b> (Symbol: X in square)</p> <p><b>DOOR SYMBOL</b> (Symbol: X in circle)</p> <p><b>WINDOW SYMBOL</b> (Symbol: X in hexagon)</p> <p><b>CEILING HEIGHTS</b> (Symbol: X-X')</p> <p><b>VAULTED CEILING</b> (Symbol: VARIES)</p> <p><b>ROOF SLOPE</b> (Symbol: X:12)</p>



MECHANICAL / PLUMBING PLAN  
1/4" = 1'-0"



ADU - 2 BEDROOM 2B  
MINIMUM SIZE OF THE ELECTRICAL SERVICE - NEC ARTICLE 220.82

GENERAL ELECTRICAL LOAD REQUIREMENTS	QUANTITY	LOAD
INDOOR SQ. FT. AREA	746 S.F.	2,238VA
SMALL APPLIANCE CIRCUITS	3	1,500VA (EACH)
LAUNDRY CIRCUIT	1	1,500VA (EACH)
SUB-TOTAL =		8,238VA
APPLIANCE & MOTOR LOADS VA		
DRYER	1	5,000VA
COOK TOP STOVE OR RANGE	1	2,400VA
WATER HEATER	1	4,500VA
DISHWASHER	1	600VA
DISPOSAL	1	600VA
ADDITIONAL APPLIANCES	1	4,000VA
SUB-TOTAL =		22,100VA
FIRST 10,000 VA @ 100% =		10,000VA
ADJUSTMENT 40% OF REMAINDER =		4,840VA
HEATING & AIR CONDITIONING VA		
MINI SPLITS	3	2,250VA
SUB-TOTAL =		1,500VA
CALCULATED TOTAL VA LOAD WITH TYPICAL POWER FACTOR = 37,438VA		
CALCULATED TOTAL AMPS LOAD = 156 AMP		

ELECTRICAL PLAN  
1/4" = 1'-0"

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MECHANICAL / PLUMBING KEYNOTES		ELECTRICAL KEYNOTES		MECHANICAL LEGEND		ELECTRICAL LEGEND																						
<b>MP1</b> INDOOR UNIT MINI SPLIT SYSTEM.	<b>MP9</b> DRYER EXHAUST OUTLET FROM DRYER TO EXTERIOR MAX LENGTH 14' WITH MAXIMUM OF TWO 90° ELBOWS. EXHAUST VENT MUST TERMINATE A MIN. OF 3' FROM ANY OPENING. MIN. TYPE 1 CLOTHES DRYER EXHAUST DUCTS SHALL BE OF RIGID METAL & SHALL HAVE SMOOTH INTERIOR SURFACES. THE DIAMETER SHALL BE NOT LESS THAN 4 INCHES NOMINAL (100 MM), & THE THICKNESS SHALL BE NOT LESS THAN 0.018 OF AN INCH (0.406 MM). EXHAUST DUCTS & DRYER VENTS SHALL BE EQUIPPED WITH BACK DRAFT DAMPERS	<b>E1</b> DEDICATED 30 AMP/240V POWER FOR ELECTRIC DRYER OR OVEN. VERIFY REQUIREMENTS WITH APPLIANCE SPECIFICATIONS - ELECTRIC COOKTOP READY REQUIREMENTS ARE TO BE IMPLEMENTED. SEE SHEET 01/2 ELECTRIC READY 150.0(k) FOR REQUIREMENTS	<b>E10</b> OUTDOOR CONDENSING UNIT RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF THE HEATING AND COOLING EQUIPMENT AND SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 25 FEET OF THE EQUIPMENT. THIS RECEPTACLE SHALL BE GFCI-WP PROTECTED.	<b>MECHANICAL</b> EXHAUST FAN: MINIMUM 50 CFM TO BE DUCTED TO THE EXTERIOR AND SHALL PROVIDE FINE AIR CHANGES PER HOUR, SECTION 1203.3. CFM AND NOISE RATING MAXIMUM 3 SOME FOR INTERMITTENT USE. SHALL BE ENERGY STAR RATED AND CONTROLLED BY A HUMIDISTAT CAPABLE OF AN ADJUSTMENT BETWEEN 50-80% HUMIDITY. ONE OR MORE FANS TO OPERATE CONTINUOUSLY AT REQUIRED CFM PER HERS NOTES ON T1 (OR GREATER) TO PROVIDE INDOOR AIR QUALITY. AT THE IAQ FAN SWITCH, A LABEL CLEARLY DISPLAYING THE FOLLOWING OR EQUIVALENT TEXT IS REQUIRED: "THIS SWITCH CONTROLS THE INDOOR AIR QUALITY VENTILATION FOR THE HOME. LEAVE IT ON UNLESS THE OUTDOOR AIR QUALITY IS VERY POOR. DUCT SYSTEMS ARE SIZED, DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS: 1. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSICC 2 MANUAL J-2011 OR EQUIVALENT 2. SIZE DUCT SYSTEMS ACCORDING TO ANSICC 1 MANUAL D-2014 OR EQUIVALENT. 3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSICC 3 MANUAL S-2014 OR EQUIVALENT	<b>FIRE DETECTION</b> SD SMOKE DETECTORS PER SECTION R314 DETECTORS SHALL BE PERMANENTLY WIRED WITH BATTERY BACKUP. SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS. ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT. SHALL COMPLY WITH THE FOLLOWING: • AT LEAST 3' FROM THE TIP OF THE BLADE OF A CEILING-MOUNTED FAN • NOT LESS THAN 3" FROM THE DOOR OPENING OF A BATHROOM • AT LEAST 20" FROM A COOKING APPLIANCE OR 10" FROM COOKING APPLIANCE WHEN THE ALARM IS AN IONIZING SMOKE ALARM PER NFPA 72 SECTION 29.8.3.4 ITEM 4 • AT LEAST 3' FROM SUPPLY REGISTERS OF A HEATING/COOLING SYSTEM	<b>POWER/DATA</b> TAMPER RESISTANT RECEPTACLE WALL MOUNTED, 110 V DUPLEX U.O.N. GF1 = WATER PROOF GFCI CT = COOKTOP GRILL 240V O = OVEN 240V MW = MICROWAVE 110V GD = GARBAGE DISPOSAL 110V R = RANGE 220V C = COUNTER HEIGHT 6" ABV COUNTER IDU = INDOOR UNIT POWER 84" AFF WD = WASHER/DRYER 30AMP/240AMP PHONE / DATA / MEDIA CEILING WATERPROOF OUTLET FLOOR MOUNTED DUPLEX RECEPTACLE. VERIFY LOCATION IN FIELD. SPECIAL PURPOSE CONNECTION (VOLTAGE SHALL MATCH APPLIANCE REQ.) SUB PANEL	<b>SWITCHING</b> SWITCH, MOUNT AT 43" AFF THREE-WAY SWITCH FOUR-WAY SWITCH DIMMER SWITCH MOUNT 6" ABV COUNTER OCCUPANCY/VACANCY SENSOR CEILING FAN LIGHT COMBO CIRCUIT WIRING DOOR BELL BUTTON	<b>LIGHTING</b> CEILING, RECESSED, DIRECTIONAL, ZERO CLEARANCE IC RATED LED BULB CEILING, RECESSED, ZERO CLEARANCE IC RATED LED BULB CEILING, RECESSED, ZERO CLEARANCE IC RATED, WATER RESISTANT, LED BULB WALL MOUNTED LIGHT JUNCTION BOX FLUSH CEILING MOUNTED UNDER COUNTER LIGHTING LOW VOLTAGE, LANDSCAPE LIGHT FLUORESCENT FIXTURE (USE SLOWLY TYPE WHEN UNDER COUNTER)																				
<b>MP2</b> WATER CONSERVING FIXTURES: NEW WATER CLOSETS SHALL USE NO MORE THAN 1.28 GAL. OF WATER PER FLUSH, LAVATORIES LIMITED TO 1.2 GPM, KITCHEN FAUCETS NOT TO EXCEED 1.8 GPM AT 60 PSI THEY CAN INCREASE THE FLOW MOMENTARILY BUT CANT EXCEED 2.2 GALLONS PER MIN. AT 60 PSI AND MUST DEFAULT TO A MAX. FLOW RATE OF 1.8 GALLONS PER MIN AT 60 PSI, AND SHOWERS NOT EXCEED 1.8 GPM AT 60 PSI AND ALL SHALL BE CERTIFIED TO MEET THE PERFORMANCE CRITERIA OF THE EPA WATER SENSE SPECIFICATIONS FOR SHOWERHEADS. CPC SECTIONS 407.408, 411, 412 AND SECTION 301.11 CALIFORNIA CODE AND CIVIL CODE 1101.3(i)	<b>MP10</b> NEW WATER HEATER WITH T&P RELIEF VALVE AND DISCHARGE PIPE AT EXTERIOR. PROVIDE COMBUSTION AIR AND CLEARANCES PER MANUFACTURER REQUIREMENTS.	<b>E2</b> OUTLET FOR NEW ELECTRIC HYBRID HEAT PUMP WATER HEATER WITHIN 3' OF WATER HEATER	<b>E11</b> A DISCONNECTING MEANS CAPABLE OF DISCONNECTING AIR-CONDITIONING AND REFRIGERATING EQUIPMENT, INCLUDING MOTOR-COMPRESSORS AND CONTROLLERS FROM THE CIRCUIT CONDUCTOR IS REQUIRED WITHIN SIGHT FROM THE EQUIPMENT LOCATION PER CEC SECTION 440.11	<b>MP3</b> EXHAUST HOOD ABOVE/TO BE SMOOTH METALLIC INTERIOR SURFACE (CMC 504.3)	<b>MP11</b> NEW WATER HEATERS SHALL HAVE ISOLATION VALVES ON BOTH THE COLD AND THE HOT WATER PIPING LEAVING THE WATER HEATER COMPLETE WITH HOSE BIBS OR OTHER FITTINGS ON EACH VALVES FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED	<b>E3</b> SUBPANEL LOCATION. ALTERNATE LOCATION TO BE DETERMINED BY OWNER	<b>E12</b> PER CEC 2022 150.0(k) 1.A: THE DESIGNATED SPACE IS WITHIN 3 FEET FROM THE WATER HEATER AND IS TO COMPLY WITH ELECTRICAL NOTES 15816 ON SHEET G0-2	<b>MP4</b> NEW 40 GAL. HEAT PUMP WATER HEATER - TO HAVE CONDENSATE DRAIN INSTALLED NO HIGHER THAN 2' ABOVE THE BASE OF THE HEATER THAT ALSO ALLOWS GRAVITY DRAINAGE	<b>MP12</b> ALL DOMESTIC HOT WATER PIPING TO HAVE THE FOLLOWING MINIMUM INSULATION INSTALLED: 1" PIPE (1" INSULATION); 1/2" PIPE (1" INSULATION); 1" TO 1-1/2" PIPE (1-1/2" INSULATION)	<b>E4</b> OUTLET AT COUNTER HEIGHT - SHALL COMPLY WITH CEC ARTICLE 210.52(C); IN KITCHENS A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH COUNTER SPACE 12" OR WIDER, SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL IS MORE THAN 24" ISLAND IN PENINSULAR COUNTERS 12" X 24" LONG (OR GREATER) SHALL HAVE AT LEAST ONE RECEPTACLE	<b>E5</b> OUTDOOR LIGHTING FIXTURES ARE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A COMBINATION PHOTOCONTROL / MOTION SENSOR	<b>E13</b> MAIN PANELBOARD LOCATION SHALL HAVE A MINIMUM BUSBAR RATING OF 225 AMPS	<b>MP5</b> CONTROL VALVES IN SHOWERS, BATHTUBS, & BIDETS MUST BE PRESSURE-BALANCED OR THERMOSTATIC MIX VALVES	<b>MP13</b> OUTDOOR CONDENSING UNIT TO BE PIPED TO INDOR HVAC UNIT	<b>E14</b> ALL SINGLE-FAMILY RESIDENCES THAT INCLUDE ONE OR TWO DWELLING UNITS SHALL MEET THE FOLLOWING ENERGY STORAGE SYSTEMS (ESS) READY REQUIREMENTS. ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CEC. SEE SHEET G0-2, ELECTRIC READY 150.0(k) FOR REQUIREMENTS	<b>MP6</b> MINIMUM OF 3 FT CLEARANCE TO ANY OPENING INTO BUILDING FOR EXHAUST FAN	<b>MP14</b> A MINIMUM 180 CFM OR 65% CE RATING HOOD OVER ELECTRICAL RANGE INDOOR AIR QUALITY FAN IS REQUIRED IN THE KITCHEN AND SHALL BE HERS VERIFIED. (CALIFORNIA ENERGY CODE TABLE 150.0-G <750 SQ. FT.	<b>E6</b> OUTLET DEDICATED FOR INDOOR HVAC UNIT	<b>E15</b> FUTURE INSTALLATION OF A SYSTEM ISOLATION EQUIPMENT/TRANSFER SWITCH WITHIN 3FT OF THE MAIN PANELBOARD. RACEWAY'S SHALL BE INSTALLED BETWEEN THE PANELBOARD & THE SYSTEM ISOLATION EQUIPMENT/TRANSFER SWITCH LOCATION TO ALLOW THE CONNECTION OF BACKUP POWER SOURCE	<b>MP7</b> CLEARANCE FOR WATER CLOSET TO BE A MIN. OF 24" IN FRONT, AND 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. (CPC 402.5)	<b>MP15</b> WATER HEATERS WITH STORAGE TANKS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACE DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITH THE UPPER ONE-THIRD AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSIONS. AT THE LOWER POINT, A MIN DISTANCE OF 4 IN SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING.	<b>E7</b> WEATHER RESISTANT TYPE RECEPTACLES GFCI PROTECTED	<b>E16</b> LIGHTS OVER TUBS AND SHOWERS ARE TO BE MARKED FOR DAMP/WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY	<b>MP8</b> THE 1/2" SIZE HOT WATER PIPE TO THE KITCHEN SINK AND THE COLD WATER PIPE WITHIN 5' OF WATER HEATER BOTH REQUIRE 1" INSULATION	<b>E8</b> OVER-CURRENT FEEDER TO EXTEND TO EXISTING PANEL. ALUMINUM CONDUIT BURIED UNDER GROUND WITH AWG ALLOWABLE VOLTAGE DROP PER CEC 250.4	<b>E9</b> SEPARATE GROUND ELECTRODE SYSTEM PER CEC 250.4	<b>MECHANICAL LEGEND</b> RETURN AIR GRILLE, WALL MOUNTED SUPPLY AIR DIFFUSER, WALL MOUNTED THERMOSTAT HOSE BIB	<b>ELECTRICAL LEGEND</b> CARBON MONOXIDE ALARM PERMANENTLY WIRED WITH BATTERY BACKUP PER SECTION R315. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT.
<b>BATHROOM EXHAUST FAN REQUIREMENTS: PER CGBC 4.506.1-1. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:</b> 1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING 2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL. A HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF +/- 50 % TO A MAXIMUM OF 80 %. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. B. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E. BUILT IN)																												
<b>RESIDENTIAL ENERGY LIGHTING REQUIREMENTS: ES 150.0(k)</b> *BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS AND WALK-IN CLOSETS, AT LEAST ONE INSTALLED LUMINAIRE SHALL BE CONTROLLED BY AN OCCUPANCY OR VACANCY SENSOR PROVIDING AUTOMATIC OFF FUNCTIONALITY. *ALL THROUGHOUT THE RESIDENCE, INCLUDING THE GARAGE AND EXTERIOR, SHALL BE HIGH EFFICACY.																												

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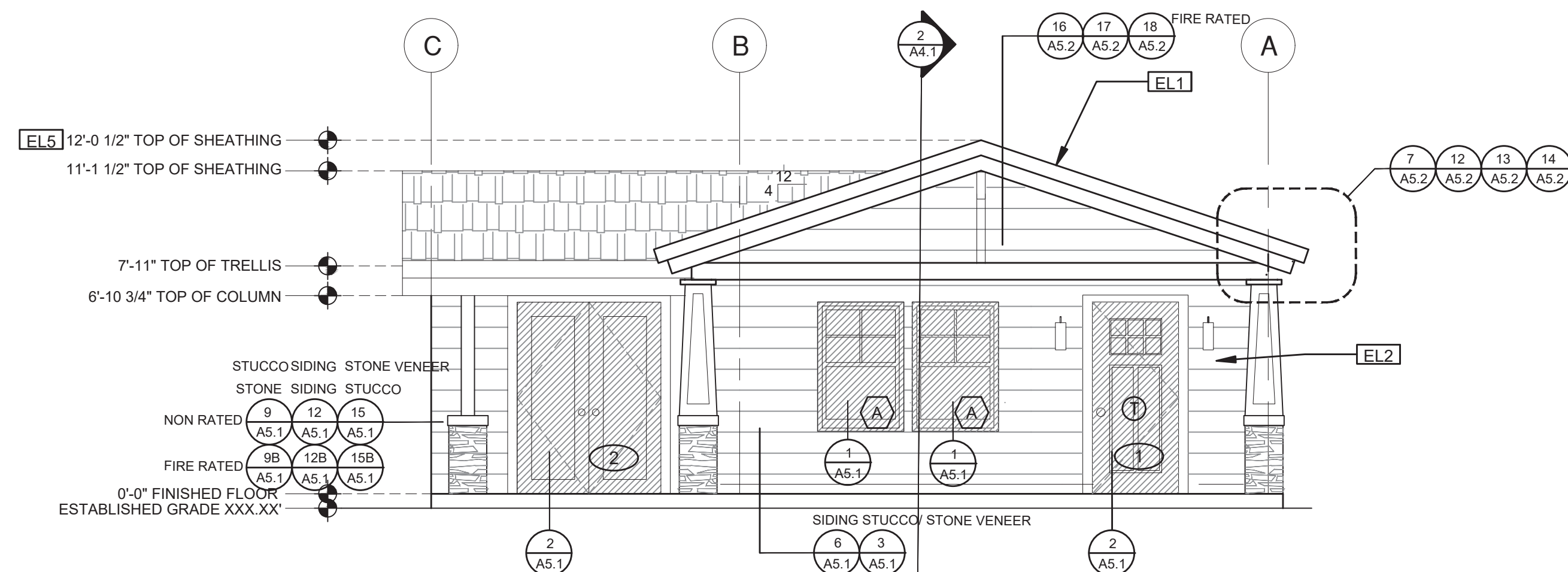
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Electrical  
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date  
September 2023

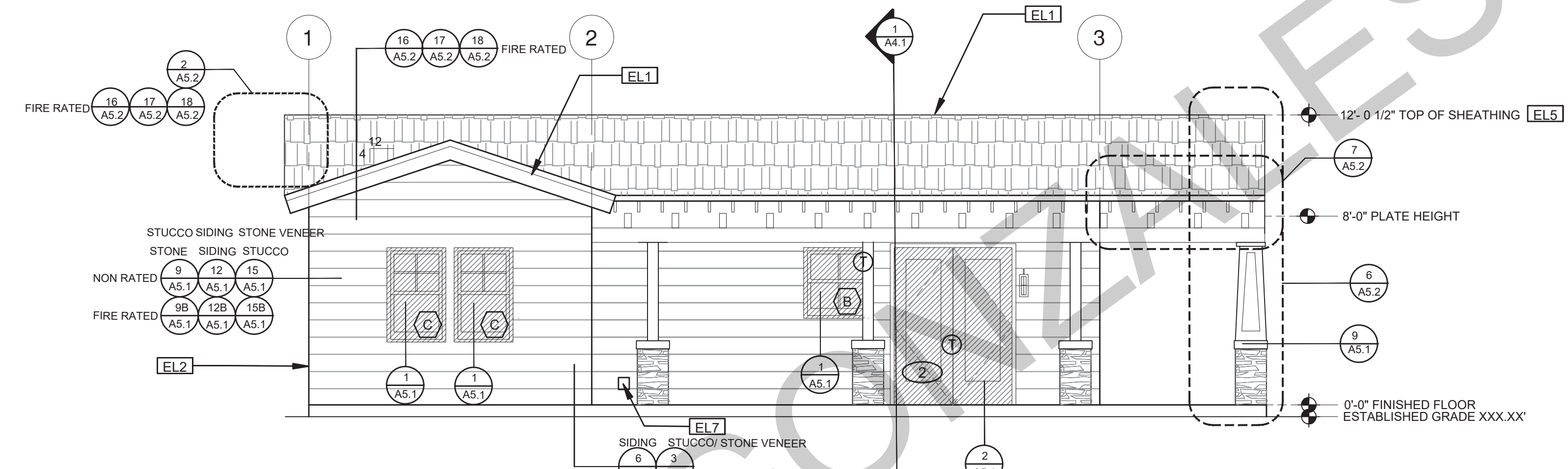
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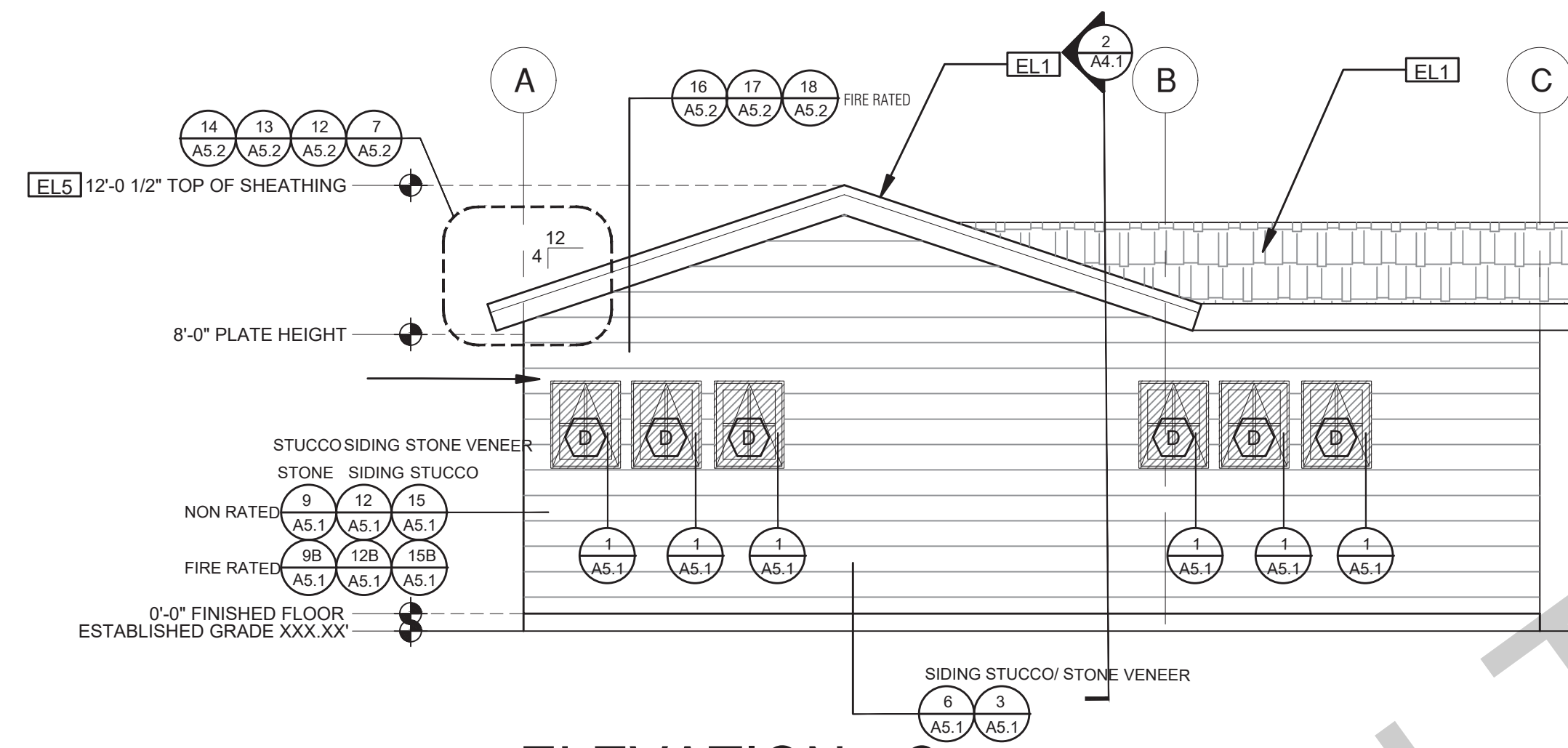
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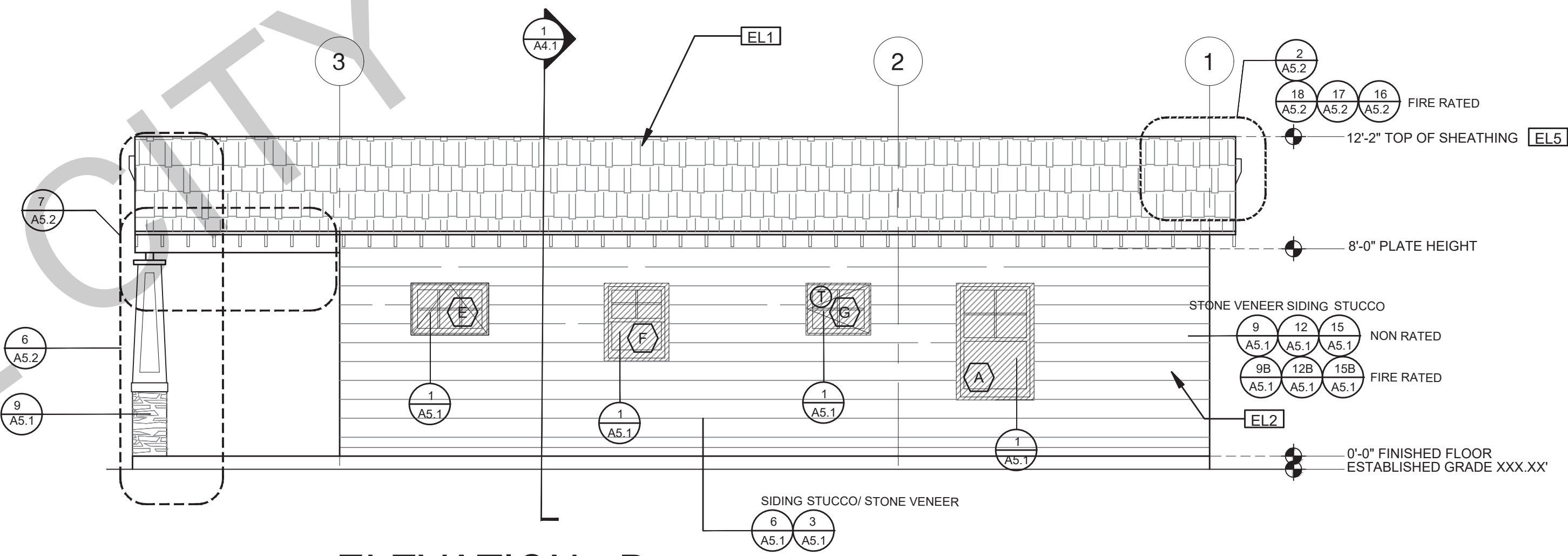
**ELEVATION - A**  
1/4"=1'-0" CRAFTSMAN



**ELEVATION - B**  
1/4"=1'-0" CRAFTSMAN



**ELEVATION - C**  
1/4"=1'-0" CRAFTSMAN



**ELEVATION - D**  
1/4"=1'-0" CRAFTSMAN

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**Exterior  
Elevations  
Craftsman**

date September 2023

project no.

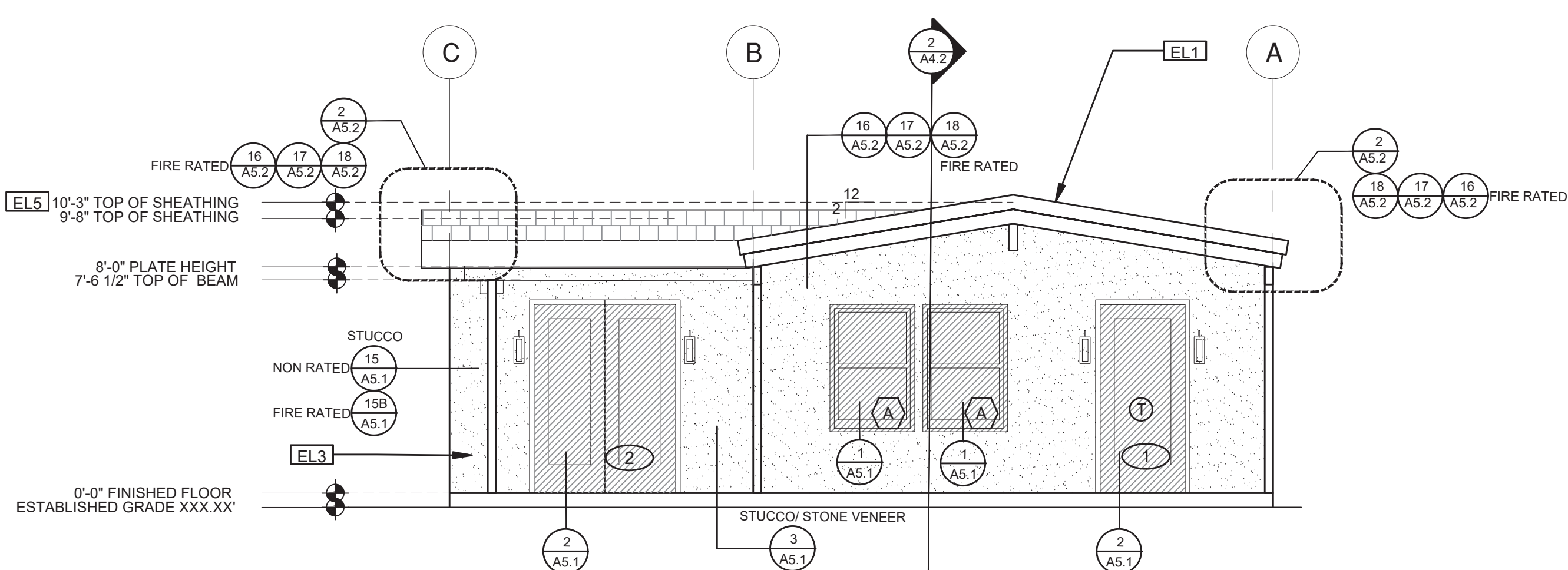
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sheet no. **A3.1**

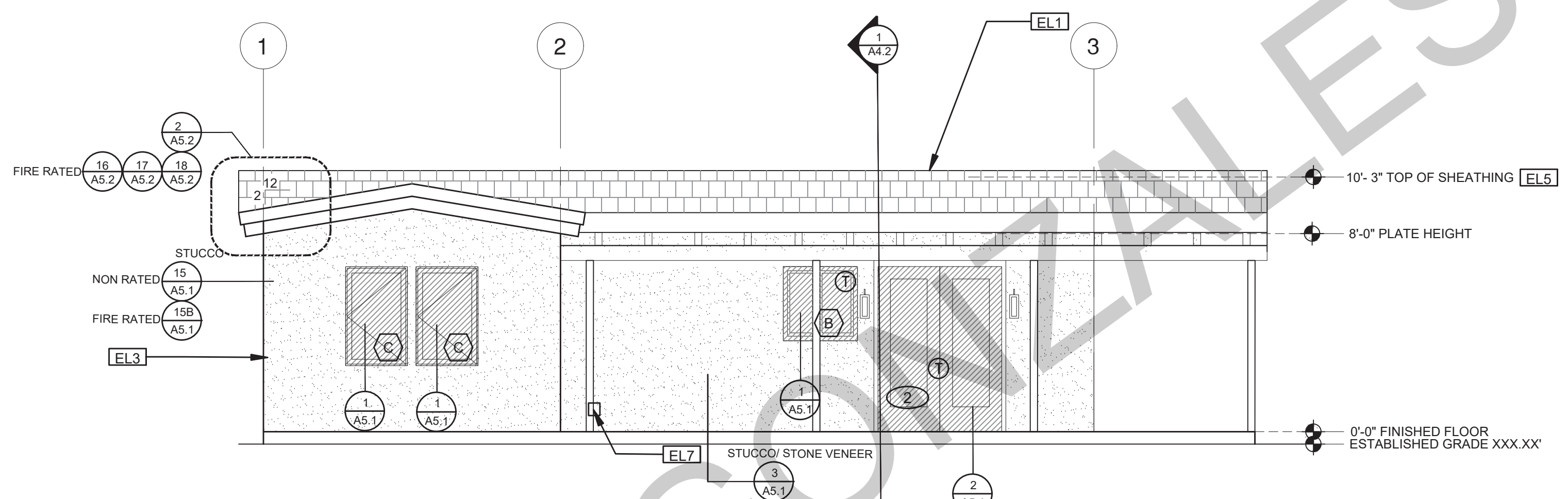
ELEVATION KEYNOTES	
EL1	MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS
EL2	SIDING
EL3	STUCCO
EL4	STONE VENEER
EL5	HEIGHT IS MEASURED AT THE BUILDING LINE, FROM THE LOWER OF EXISTING AND PROPOSED GRADES
EL6	DRYER VENT TERMINATION (MINIMUM OF 3 FT FROM ANY OPENING)

ELEVATION GENERAL NOTES	
1. ALL DIMENSIONS TO FINISH FACE, U.N.O.	7. FRAMING ELEVATIONS, INCLUDING FLOOR PLATES AND FLOOR LEVEL ELEVATIONS ARE MEASURED FROM BUILDING FINISH FLOOR, U.N.O.
2. ALL DOORS SHOULD BE 3 1/2" FROM NEAREST INTERSECTING WALL AT HINGED SIDE, U.N.O.	8. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O.
3. WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. OWNER/SUBCONTRACTOR TO VERIFY ALL DIM. PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.	10. VERIFY COLOR SCHEME WITH OWNER BEFORE PERFORMING THE WORK
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6. MATERIALS FOR PLASTER IS TO BE THE STANDARD PRODUCTS OF RECOGNIZED MANUFACTURERS, AND SHALL BE AS MANUFACTURED BY US GYPSUM CO. AND APPROVED BY THE LATH AND PLASTER INSTIGAT OR APPROVED EQUAL.	
7. ALL PLASTER CORNER BEADS, CASING BEADS, CONTROL JOINTS, EXPANSION SCREDS AND ACCESSORIES ARE TO BE GALVANIZED. PROVIDE CASING BEADS AT ALL JOINTS OF STUCCO TO DISSIMILAR SURFACES UNLESS OTHERWISE NOTED.	
8. WHERE INDICATED ON THE DRAWINGS, PORTLAND CEMENT PLASTER IS TO BE HAND APPLIED (3) THREE COAT WORK, 7/8" THICK ON EXTERIOR SURFACES. THE COATS ARE TO CONSIST OF A SCRATCH (3/8" AND A TWO COAT FINISH (1/8" MIN.) COAT PROPORTIONED AND MIXED ADS RECOMMENDED BY THE CALIFORNIA LATHING AND PLASTERING CONTRACTORS ASSOCIATION.	

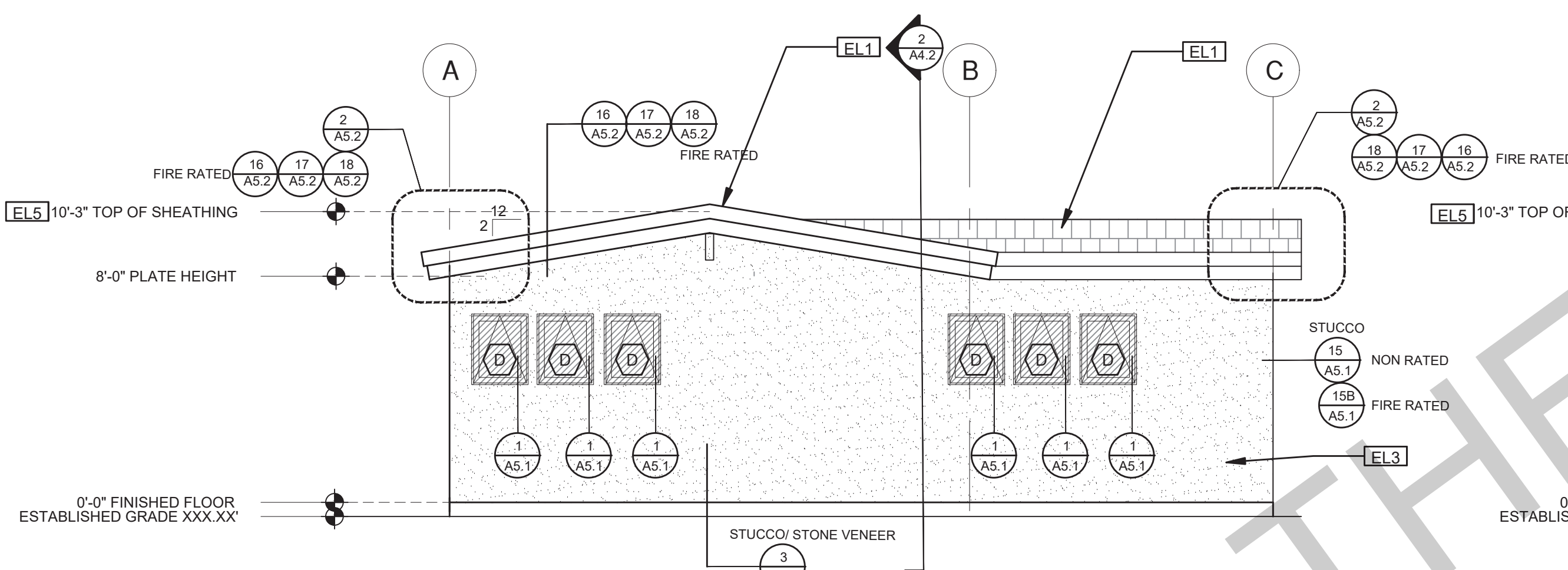
LEGEND					
	SECTION CUT		KEYNOTE		SPRAY FIN STUCCO
	ELEVATION CALLOUT		DOOR SYMBOL		BOARD & BATTEN
	DETAIL DRAWING REF.		WINDOW SYMBOL		GLAZING
	ELEVATION MARKER		TEMPERED GLASS		ROOFING



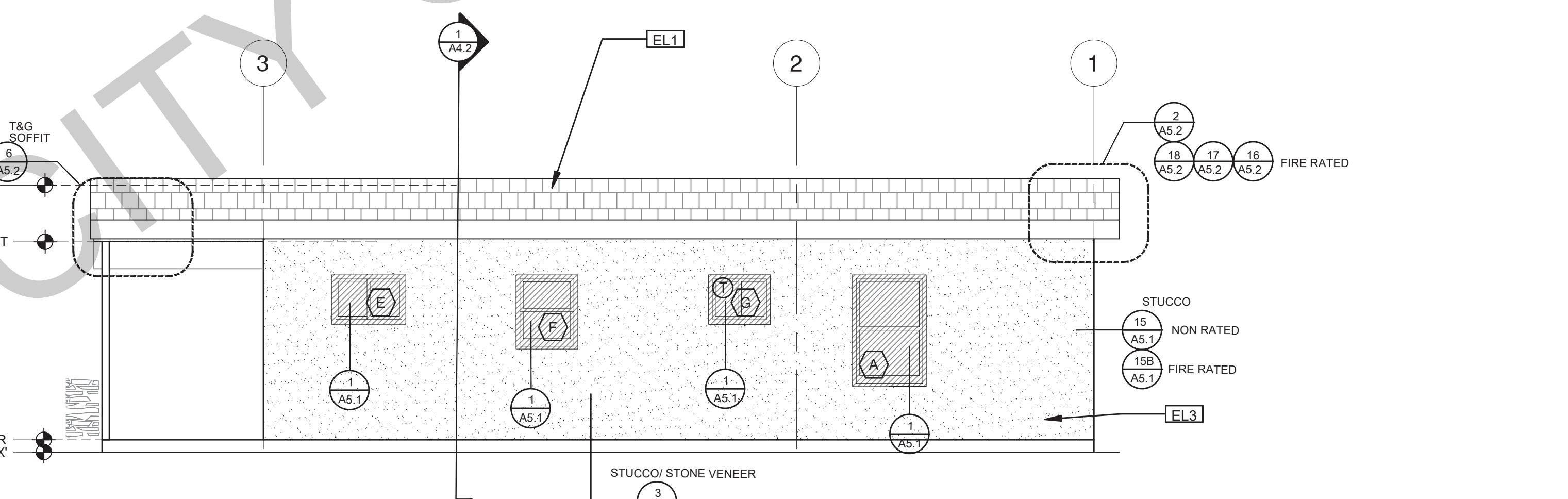
**ELEVATION - A**  
1/4"=1'-0" MIDCENTURY



**ELEVATION - B**  
1/4"=1'-0" MIDCENTURY



**ELEVATION - C**  
1/4"=1'-0" MIDCENTURY



**ELEVATION - D**  
1/4"=1'-0" MIDCENTURY

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Pre-Approved ADU  
Plans

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description  
Exterior  
Elevations  
Midcentury

date September 2023

project no.

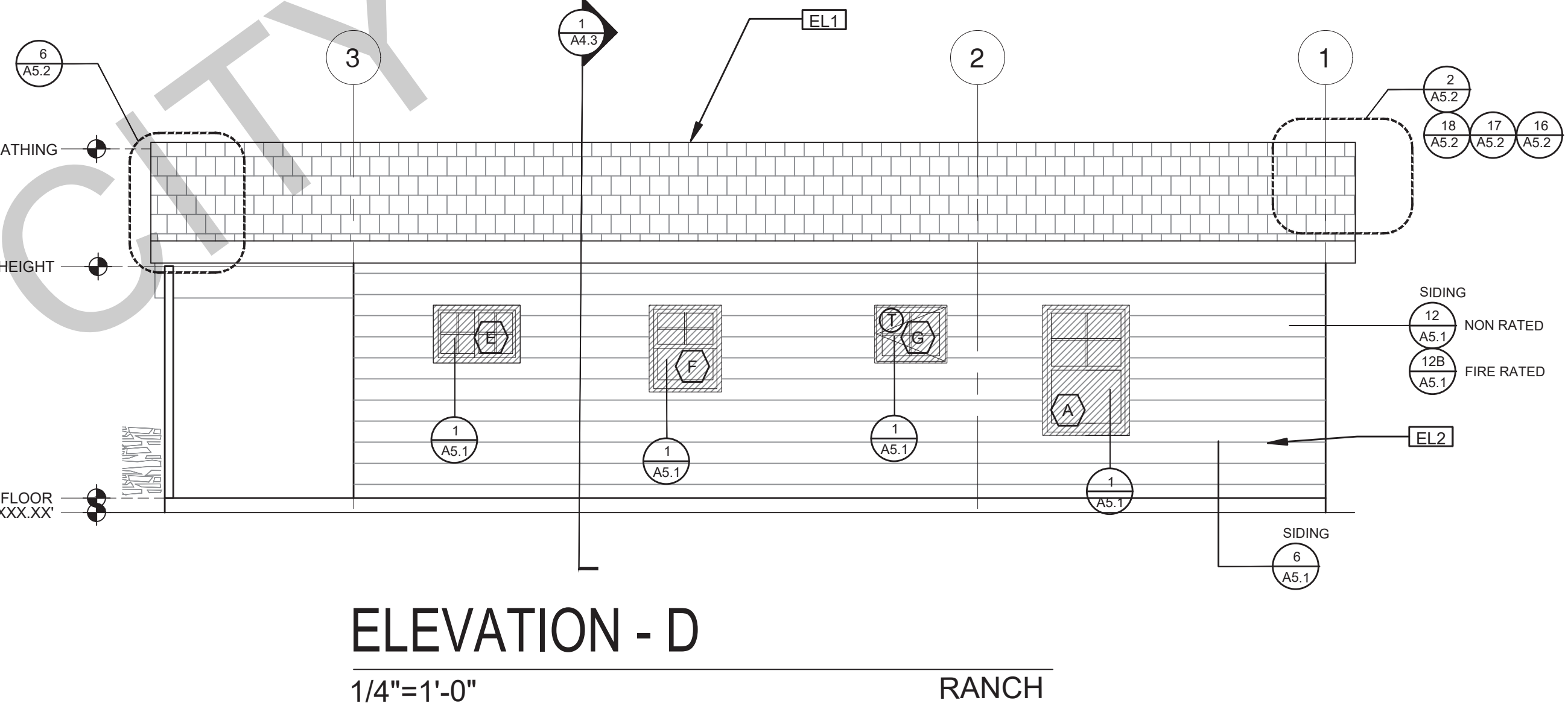
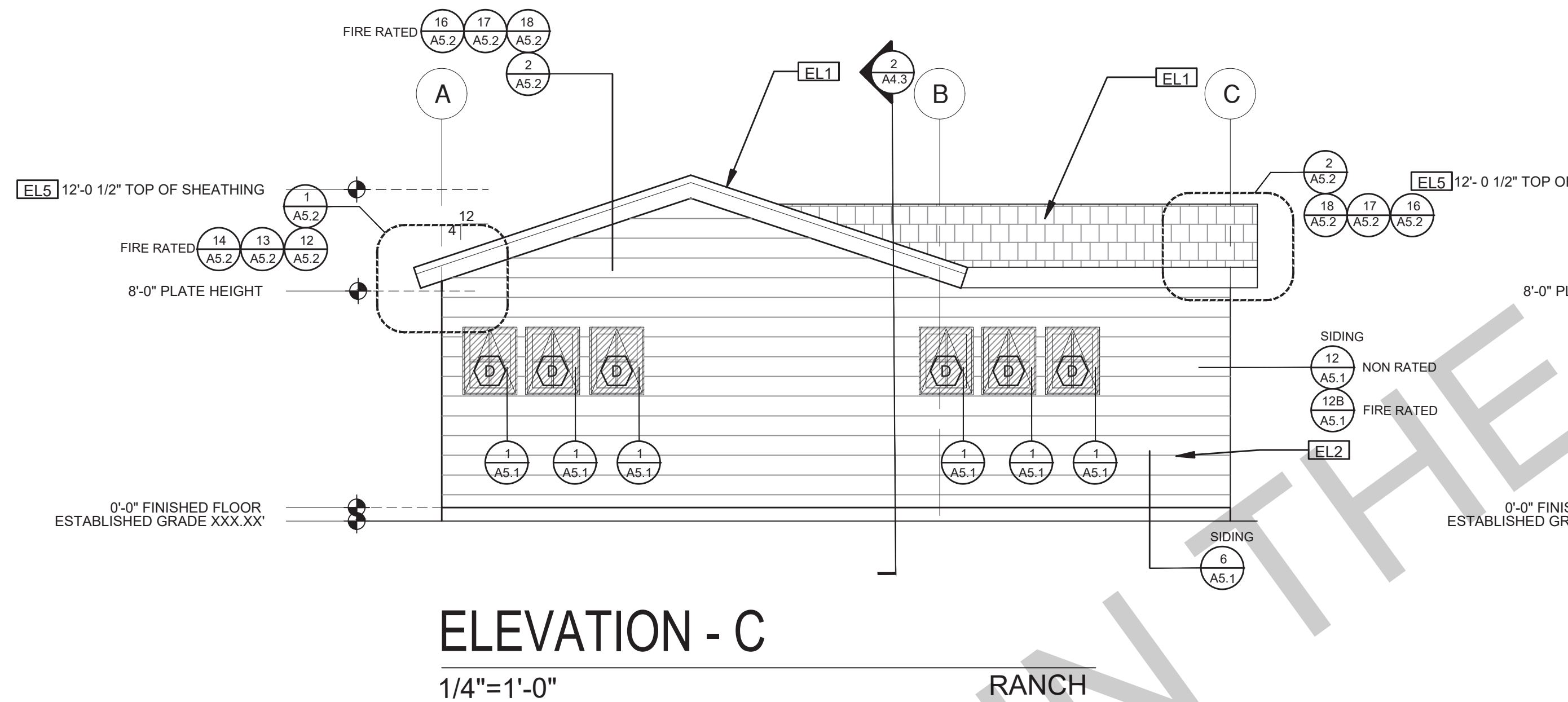
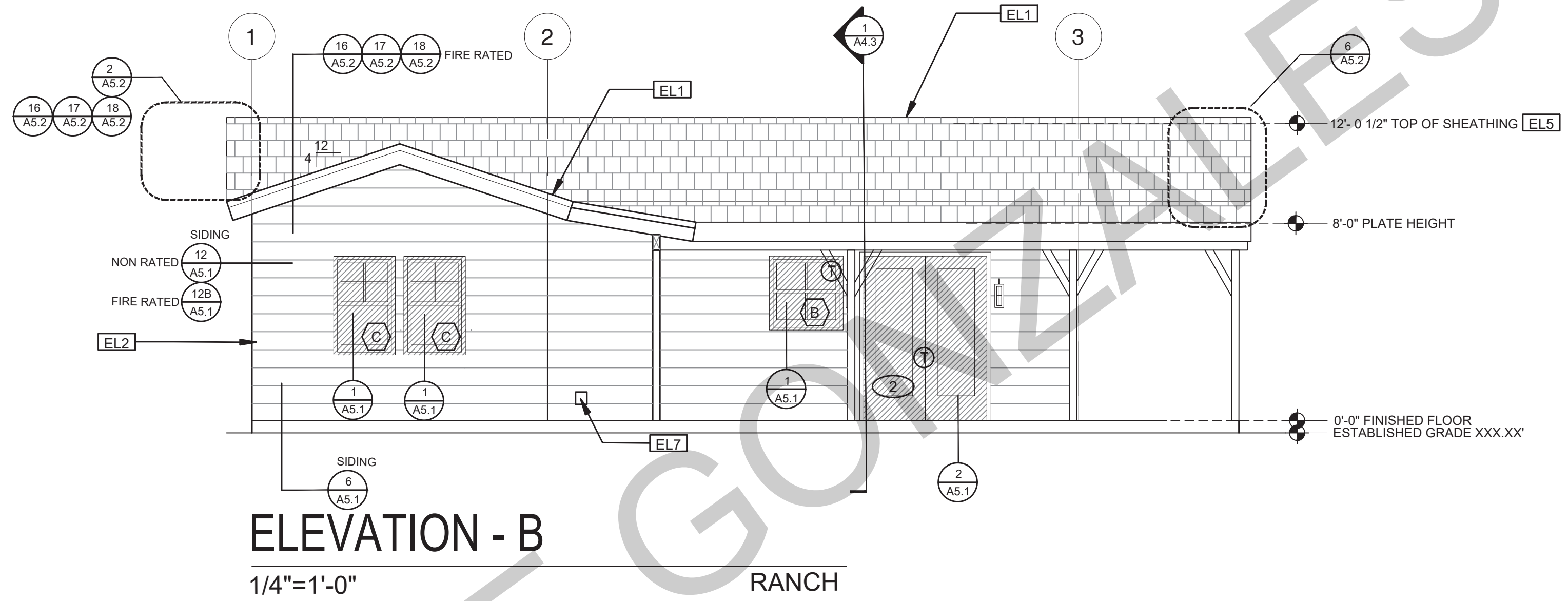
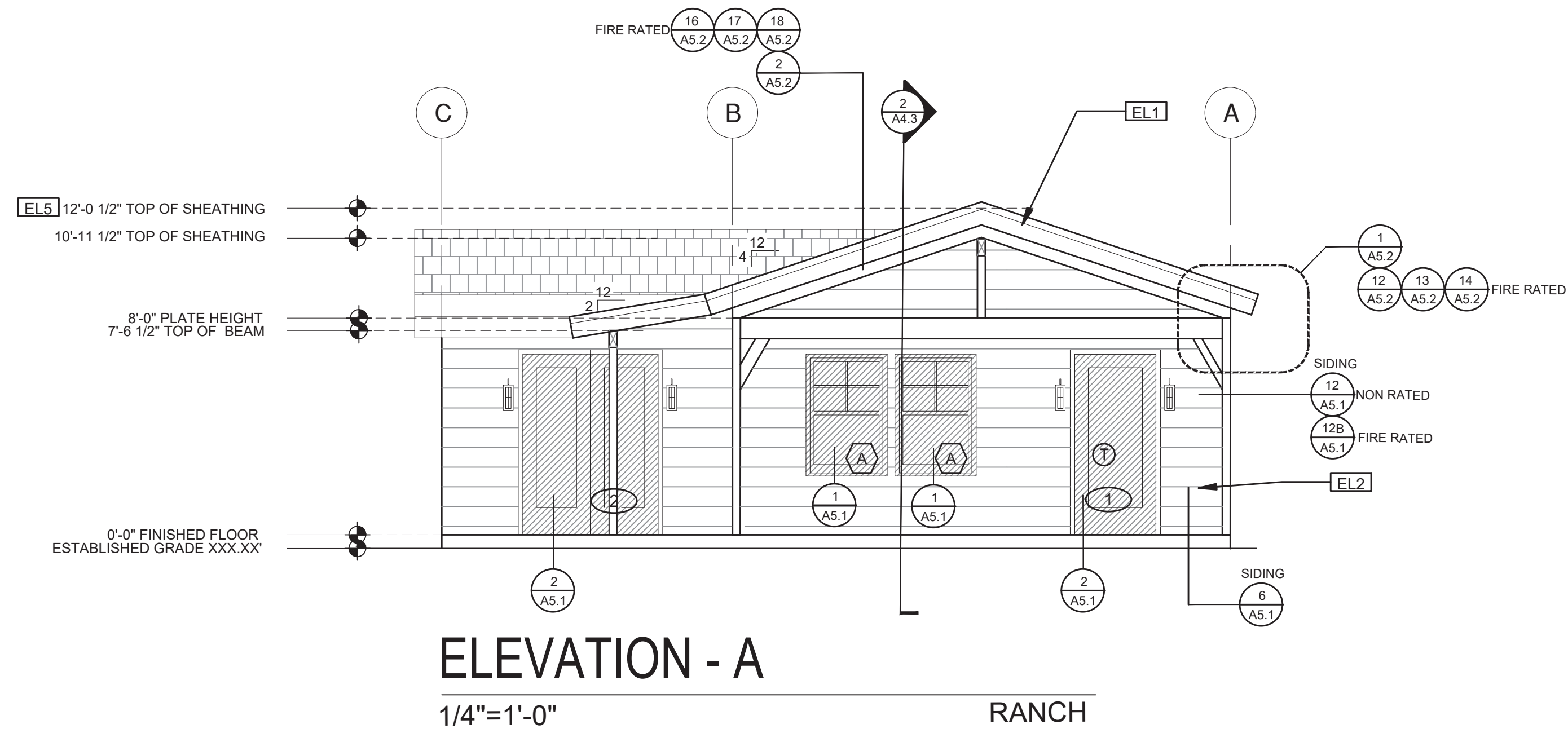
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ELEVATION KEYNOTES	
EL1	MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS
EL2	SIDING
EL3	STUCCO
EL4	STONE VENEER
EL5	HEIGHT IS MEASURED AT THE BUILDING LINE, FROM THE LOWER OF EXISTING AND PROPOSED GRADES
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ELEVATION GENERAL NOTES	
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LEGEND					
	SECTION CUT		KEYNOTE		SPRAY FIN. STUCCO
	ELEVATION CALLOUT		DOOR SYMBOL		BOARD & BATTEN
	DETAIL DRAWING REF.		WINDOW SYMBOL		GLAZING
	ELEVATION MARKER		TEMPERED GLASS		ROOFING



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project  
City of Gonzales  
Pre-Approved ADU  
Plans

revisions  
△  
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△  
△

description  
Exterior  
Elevations  
Ranch

date September 2023

project no.

drawn by DESIGN PATH STUDIO

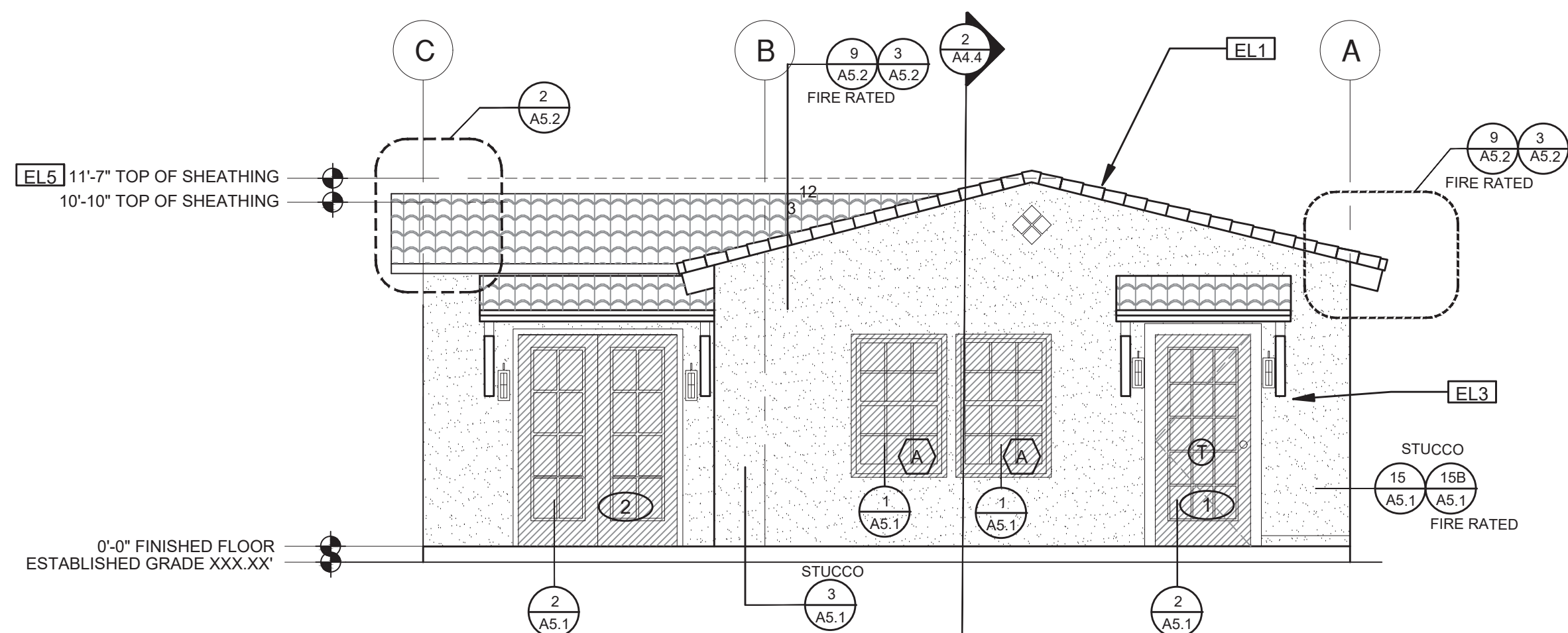
sheet no. **A3.3**

ELEVATION KEYNOTES	
EL.1	MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS
EL.2	SIDING
EL.3	STUCCO
EL.4	STONE VENEER
EL.5	HEIGHT IS MEASURED AT THE BUILDING LINE, FROM THE LOWER OF EXISTING AND PROPOSED GRADES
EL.6	DRYER VENT TERMINATION (MINIMUM OF 3 FT FROM ANY OPENING)

ELEVATION GENERAL NOTES	
1. ALL DIMENSIONS TO FINISH FACE, U.N.O.	7. FRAMING ELEVATIONS, INCLUDING FLOOR PLATES AND FLOOR LEVEL ELEVATIONS ARE MEASURED FROM BUILDING FINISH FLOOR, U.N.O.
2. ALL DOORS SHOULD BE 3 1/2" FROM NEAREST INTERSECTING WALL AT HINGED SIDE, U.N.O.	8. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O.
3. WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. OWNER/SUBCONTRACTOR TO VERIFY ALL DIM. PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.	10. VERIFY COLOR SCHEME WITH OWNER BEFORE PERFORMING THE WORK
4. REFER TO FRAMING PLANS, FLOOR PLANS, AND SECTIONS FOR CLARIFICATION AND DIMENSIONS	
5. SEE SCHEDULE FOR DOOR AND WINDOW INFORMATION AND HEIGHTS	
6. MATERIALS FOR PLASTER IS TO BE THE STANDARD PRODUCTS OF RECOGNIZED MANUFACTURERS, AND SHALL BE AS MANUFACTURED BY US GYPSUM CO. AND APPROVED BY THE LATH AND PLASTER INSTIGAT OR APPROVED EQUAL.	
7. ALL PLASTER CORNER BEADS, CASING BEADS, CONTROL JOINTS, EXPANSION SCREEDS AND ACCESSORIES ARE TO BE GALVANIZED. PROVIDE CASING BEADS AT ALL JOINTS OF STUCCO TO DISSIMILAR SURFACES UNLESS OTHERWISE NOTED.	
8. WHERE INDICATED ON THE DRAWINGS, PORTLAND CEMENT PLASTER IS TO BE HAND APPLIED (3) THREE COAT WORK, 7/8" THICK ON EXTERIOR SURFACES. THE COATS ARE TO CONSIST OF A SCRATCH (3/8" AND A TWO COAT FINISH (1/8" MIN.) COAT PROPORTIONED AND MIXED ADS RECOMMENDED BY THE CALIFORNIA LATHING AND PLASTERING CONTRACTORS ASSOCIATION.	

LEGEND					
	SECTION CUT		KEYNOTE		SPRAY FIN. STUCCO
	ELEVATION CALLOUT		DOOR SYMBOL		BOARD & BATTEN
	DETAIL DRAWING REF.		WINDOW SYMBOL		GLAZING
	ELEVATION MARKER		TEMPERED GLASS		ROOFING

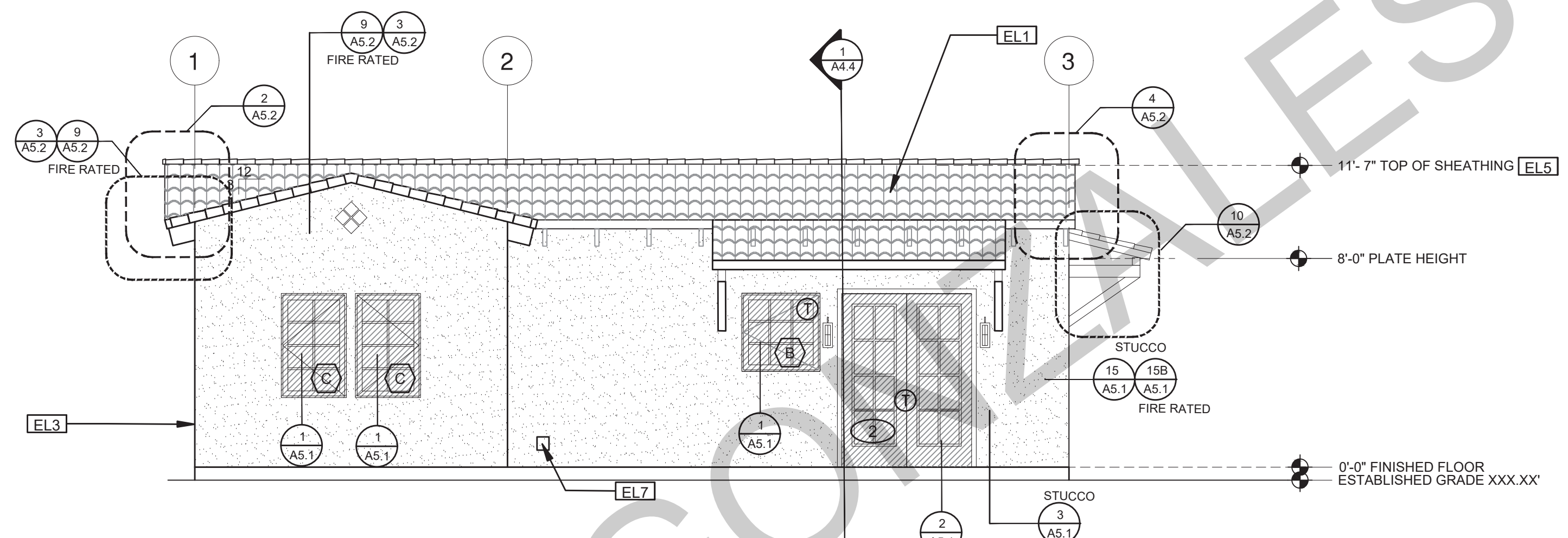




ELEVATION - A

1/4"=1'-0"

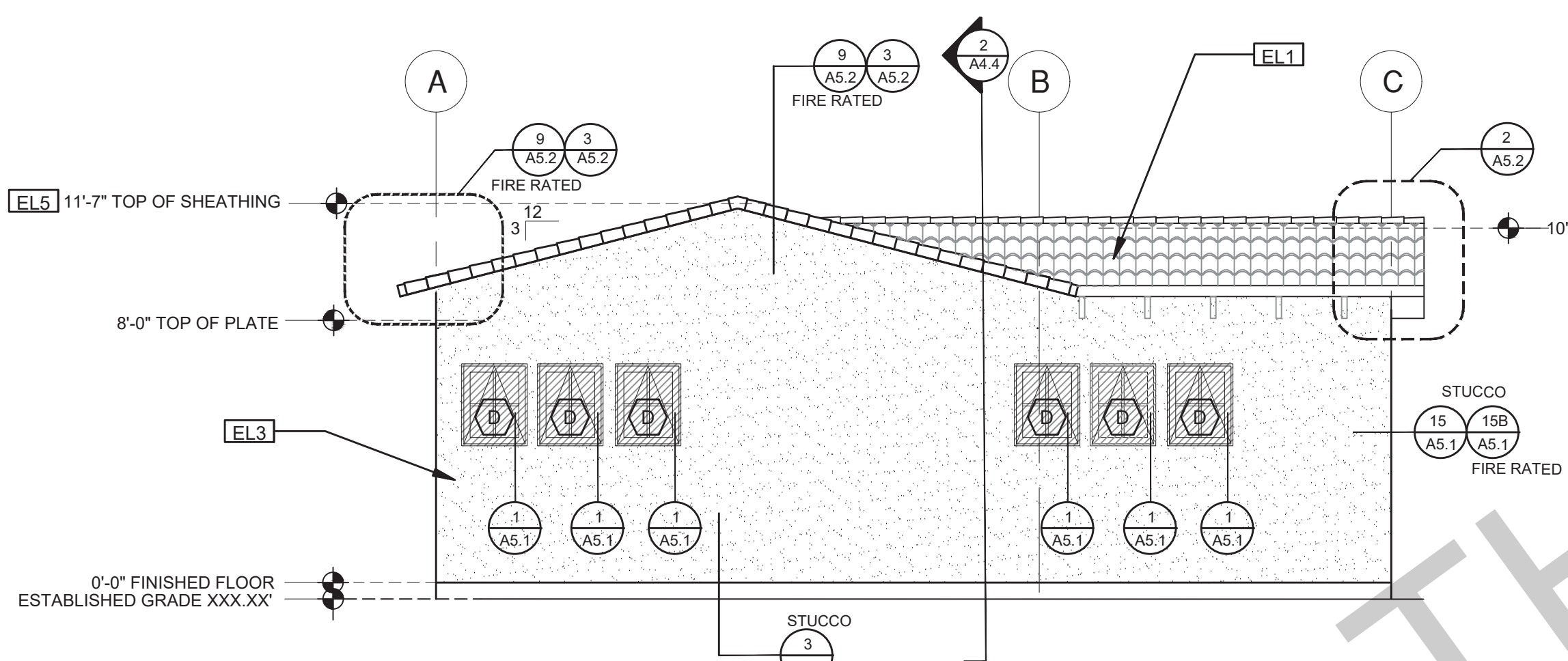
SPANISH



ELEVATION - B

1/4"=1'-0"

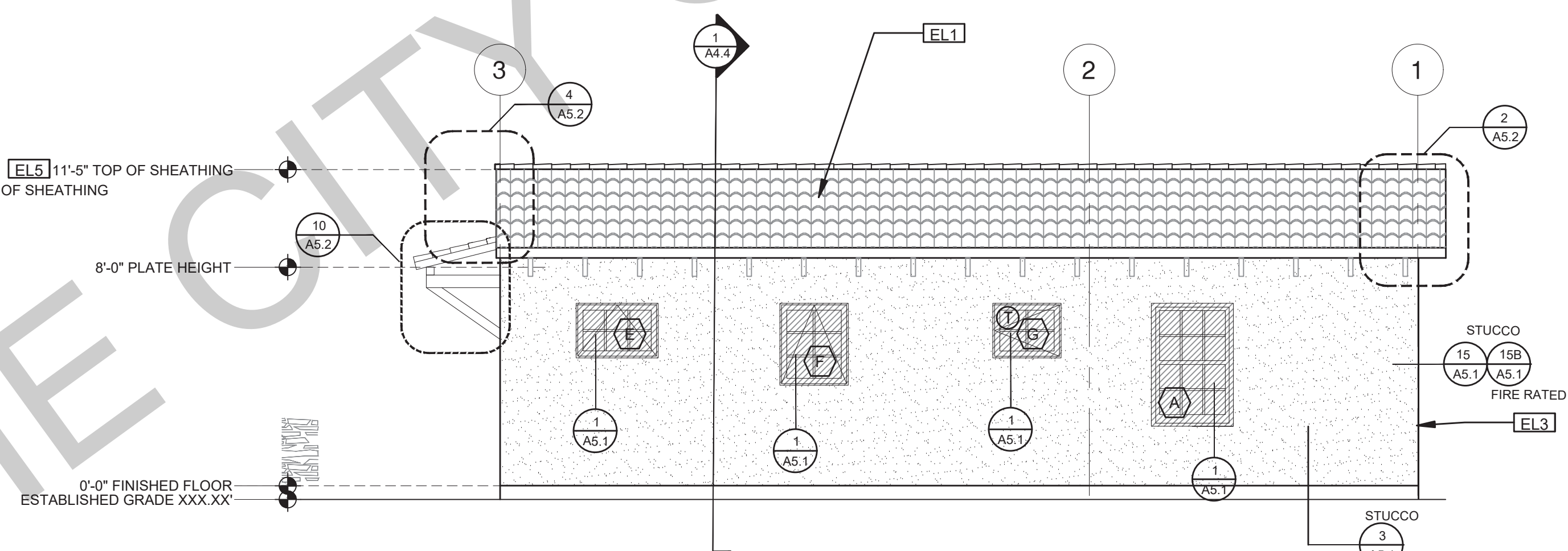
SPANISH



ELEVATION - C

1/4"=1'-0"

SPANISH



ELEVATION - D

1/4"=1'-0"

SPANISH

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project  
City of Gonzales  
Pre-Approved ADU  
Plans

revisions  
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△  
△

description  
Exterior  
Elevations  
Spanish

date September 2023

project no.

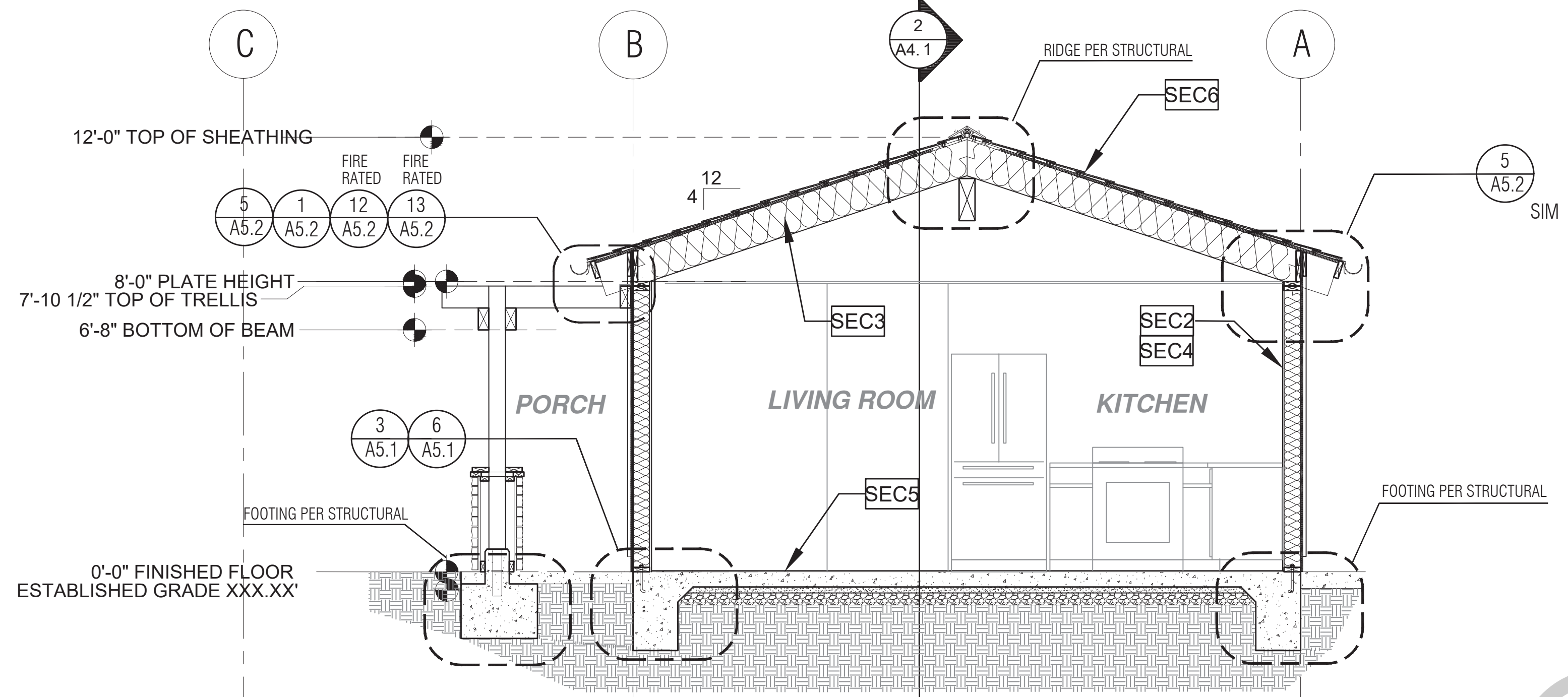
drawn by DESIGN PATH STUDIO

sheet no. **A3.4**

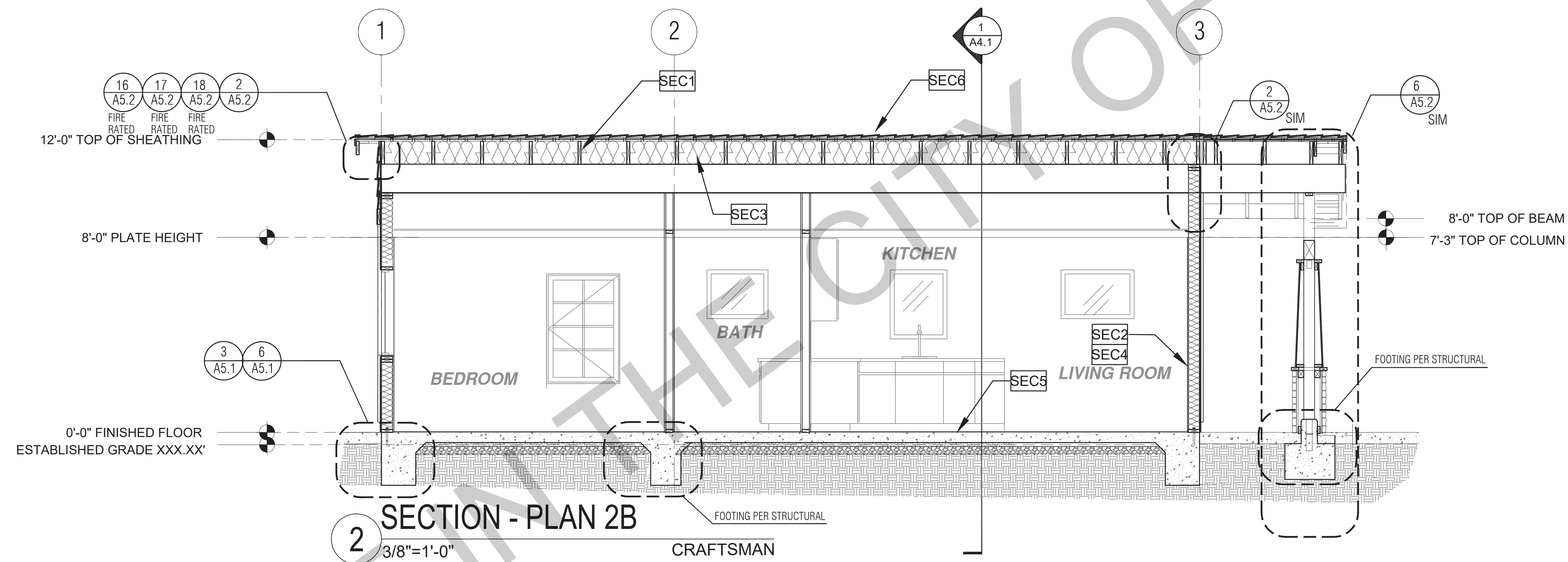
ELEVATION KEYNOTES	
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EL3	STUCCO
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5. SEE SCHEDULE FOR DOOR AND WINDOW INFORMATION AND HEIGHTS	
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LEGEND					
	SECTION CUT		KEYNOTE		SPRAY FIN STUCCO
	ELEVATION CALLOUT		DOOR SYMBOL		BOARD & BATTEN
	DETAIL DRAWING REF.		WINDOW SYMBOL		GLAZING
	ELEVATION MARKER		TEMPERED GLASS		ROOFING



1 SECTION - PLAN 2B  
3/8"=1'-0"  
CRAFTSMAN



2 SECTION - PLAN 2B  
3/8"=1'-0"  
CRAFTSMAN

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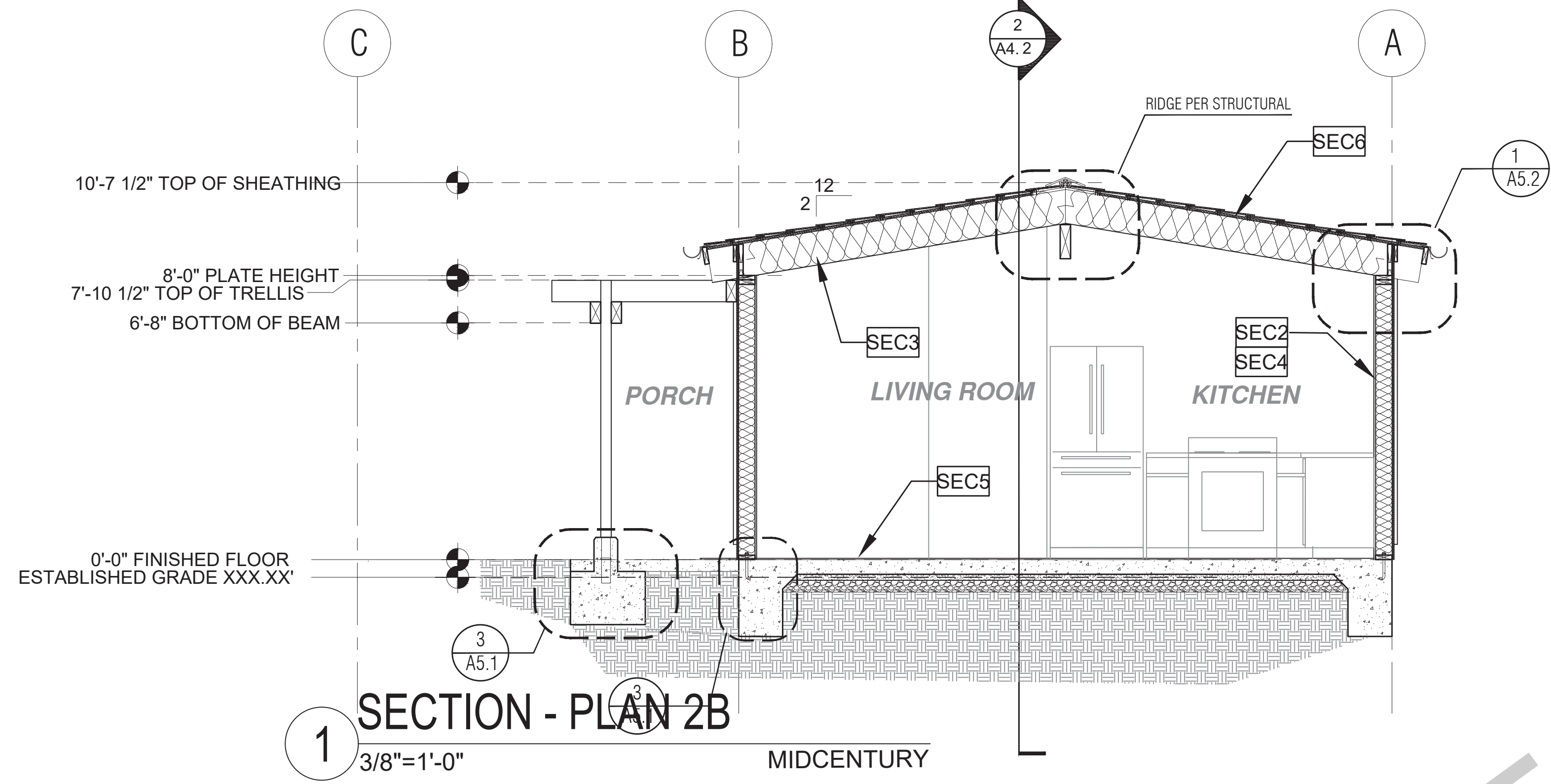
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project  
City of Gonzales  
Pre-Approved ADU  
Plans

revisions  
  
 description  
**Building  
Sections  
Craftsman**

date September 2023  
 project no.  
 drawn by DESIGN PATH STUDIO  
 sheet no. **A4.1**

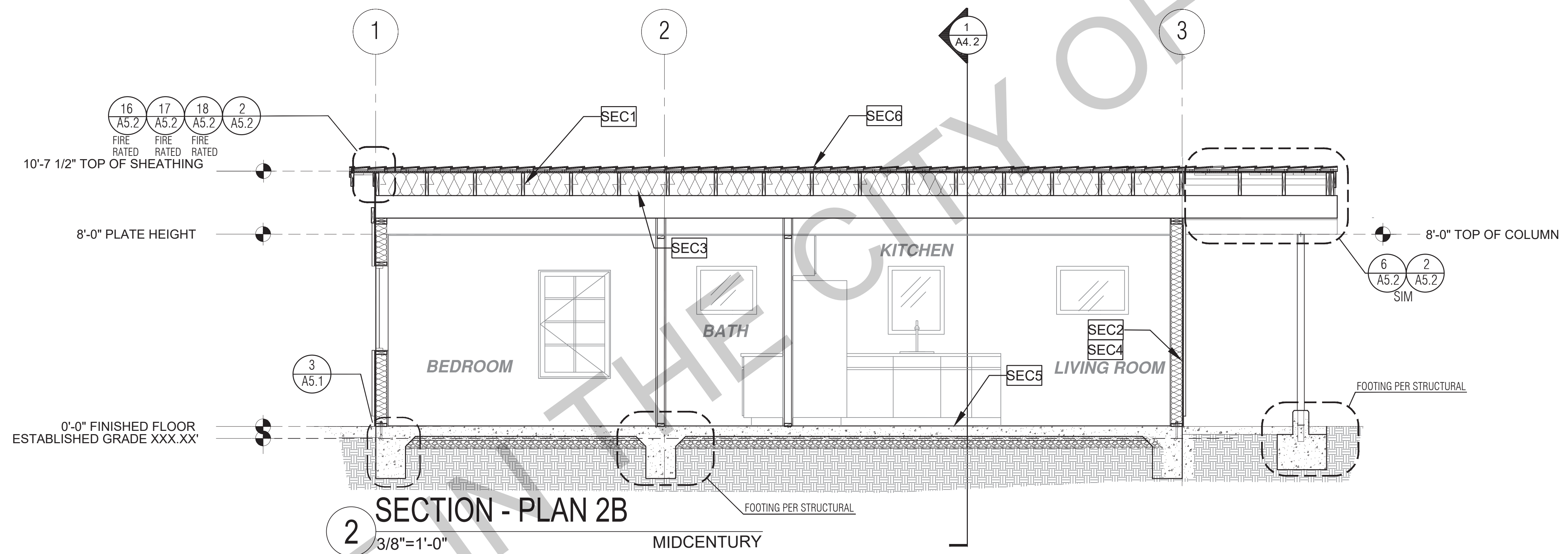
SECTION KEYNOTES	SECTION GENERAL NOTES	LEGEND
<p><b>SEC1</b> RAFTERS PER PLAN SEE STRUCTURAL</p> <p><b>SEC2</b> 2X STUDS @ 16" O.C. - SEE STRUCTURAL</p> <p><b>SEC3</b> CEILING INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC4</b> KRAFT-FACED WALL INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC5</b> CONC. SLAB ON GRADE SEE STRUCTURAL</p> <p><b>SEC6</b> MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS</p>	<p>1. METALS SEE PLANS AND DETAILS FOR LOCATIONS, QUANTITY AND CONFIGURATION OF MISCELLANEOUS IRON AND STEEL WORK INCLUDING ASSORTED CLIPS, BRACKETS, ANGLES, STRAPS, POST ANCHORS AND LIKE ITEMS. FURNISH AND INSTALL ALL SUCH ITEMS NECESSARY TO MAKE A COMPLETE INSTALLATION WHETHER OR NOT SPECIFICALLY DETAILED OR NOTED ON THE DRAWINGS. ALL EXTERIOR METAL AND HARDWARE IS TO BE GALVANIZED. STEEL IS TO BE ASTM A3.</p> <p>2. RAFTER VENTS ARE TO BE STAINLESS STEEL MESH AND ARE TO BE SIZED TO MEET REQUIRED VENTILATION TO ENCLOSED RAFTER SPACES. MAX 2" MIN 1/2" OPENING SIZE ON VENT SCREEN WITH CORROSION RESISTANT WIRE SCREEN MATERIAL.</p> <p>3. FRAMER IS TO LAYOUT CEILING JOISTS/ROOF RAFTERS TO ACCOMMODATE RECESSED LIGHTS EXHAUST FANS OR OTHER ELECTRICAL/MECHANICAL FIXTURES.</p> <p>4. WOOD SOFFIT/CEILING, SIDING &amp; TRIM ALL NAILS, FASTENERS AND HARDWARE MUST BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED. STAPLES ARE NOT PERMITTED.</p> <p>5. INSULATION THERMAL INSULATION IS TO BE KRAFT-FACED BATT INSULATION WITH AN R VALUE NOT LESS SPECIFIED IN THE TITLE 24 ENERGY CALCULATIONS. AT BATHROOMS, LAUNDRY ROOM, AND MASTER BED/BATHROOMS INSULATION IS TO BE PROVIDED WITH SOUND INSULATION.</p> <p>6. FLASHING AND SHEET METAL ALL FLASHING AND COUNTER FLASHING IS TO BE GALVANIZED AND INSTALLED AS PER SMACNA STANDARDS. ALL PROPOSED FLASHING AND SHEET METAL MATERIALS, GAUGE AND INSTALLATION IS TO BE IN ACCORDANCE WITH SMACNA MANUAL STANDARDS.</p> <p>7. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, AND STRUCTURAL PLANS. *KEYNOTES ONLY APPLY IF REFERENCED ON PLANS</p> <p>8. INSULATION REFER TO TITLE 24 REPORT FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION</p> <p>9. FIRE BLOCKING TO BE LOCATED AT THE FOLLOWING LOCATIONS PER OR SECTION R302.11: A. SECTION R302.11-1: 1. FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING PURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS: 1. VERTICALLY AT CEILING AND FLOOR LEVELS 2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET</p> <p>10. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS</p> <p>11. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.</p> <p>12. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL. WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS</p> <p>13. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19</p> <p>14. FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION</p> <p>15. SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS: 1. TWO-INCH NOMINAL NUMBER 2. TWO THICKNESS OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS 3. THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS 4. THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD 5. ONE-HALF-INCH GYPSUM BOARD 6. ONE-FOURTH-INCH CEMENT-BASED MILLBOARD 7. BATTIS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE 8. CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION</p>	<p> SECTION CUT</p> <p> ELEVATION CALLOUT</p> <p> DETAIL DRAWING REF.</p> <p> ELEVATION MARKER</p>



SECTION - PLAN 2B

3/8"=1'-0"

MIDCENTURY



SECTION - PLAN 2B

3/8"=1'-0"

MIDCENTURY

SECTION KEYNOTES	
SEC1	RAFTERS PER PLAN SEE STRUCTURAL
SEC2	2X STUDS @ 16" O.C. - SEE STRUCTURAL
SEC3	CEILING INSULATION PER TITLE 24 ENERGY CALCULATIONS
SEC4	KRAFT-FACED WALL INSULATION PER TITLE 24 ENERGY CALCULATIONS
SEC5	CONC. SLAB ON GRADE SEE STRUCTURAL
SEC6	MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS

SECTION GENERAL NOTES	
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3. INSULATION REFER TO TITLE 24 REPORT FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION	8. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILING AND COVE CEILING
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	11. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19
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LEGEND	
	SECTION CUT
	ELEVATION CALLOUT
	DETAIL DRAWING REF.
	ELEVATION MARKER

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project  
 City of Gonzales  
 Pre-Approved ADU  
 Plans

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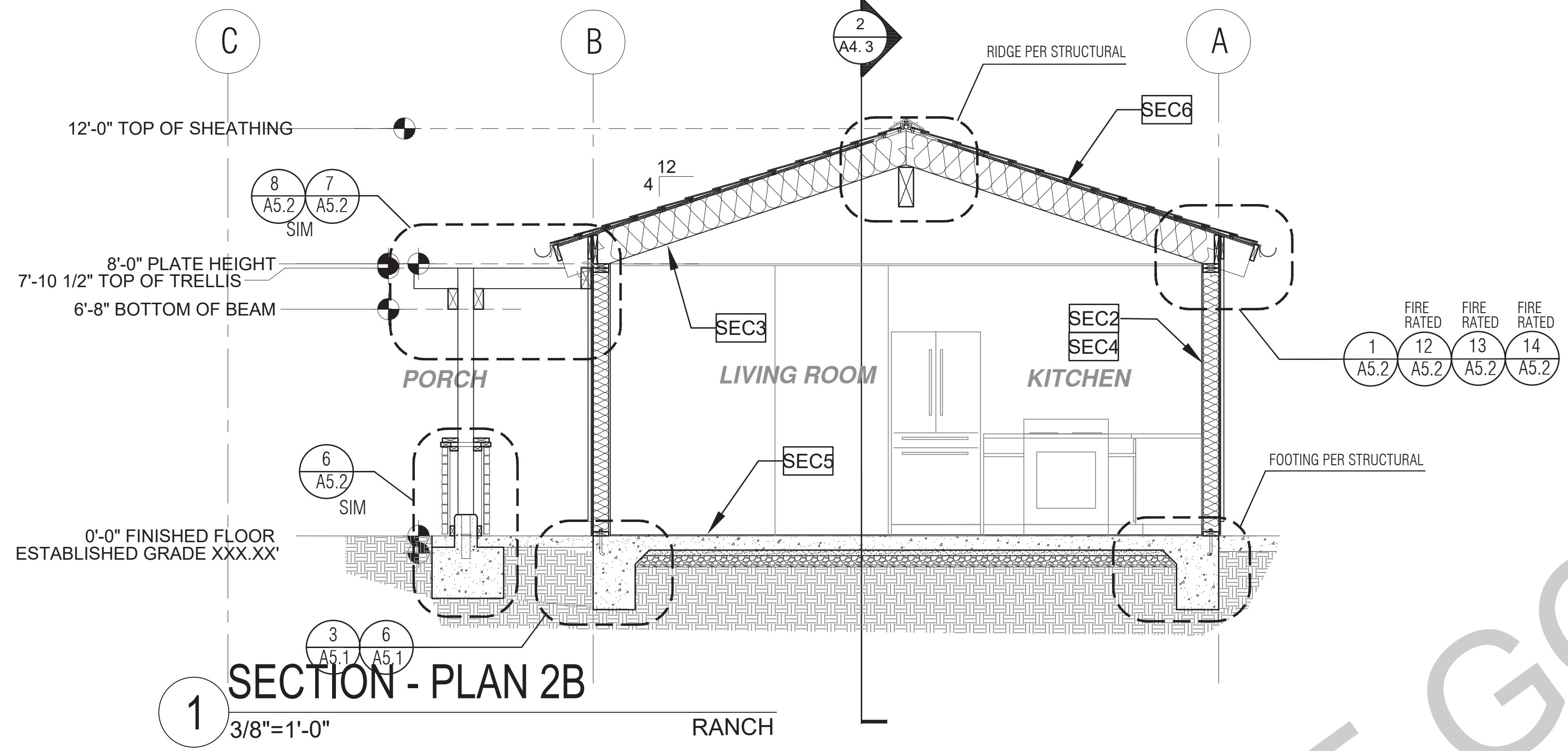
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date September 2023

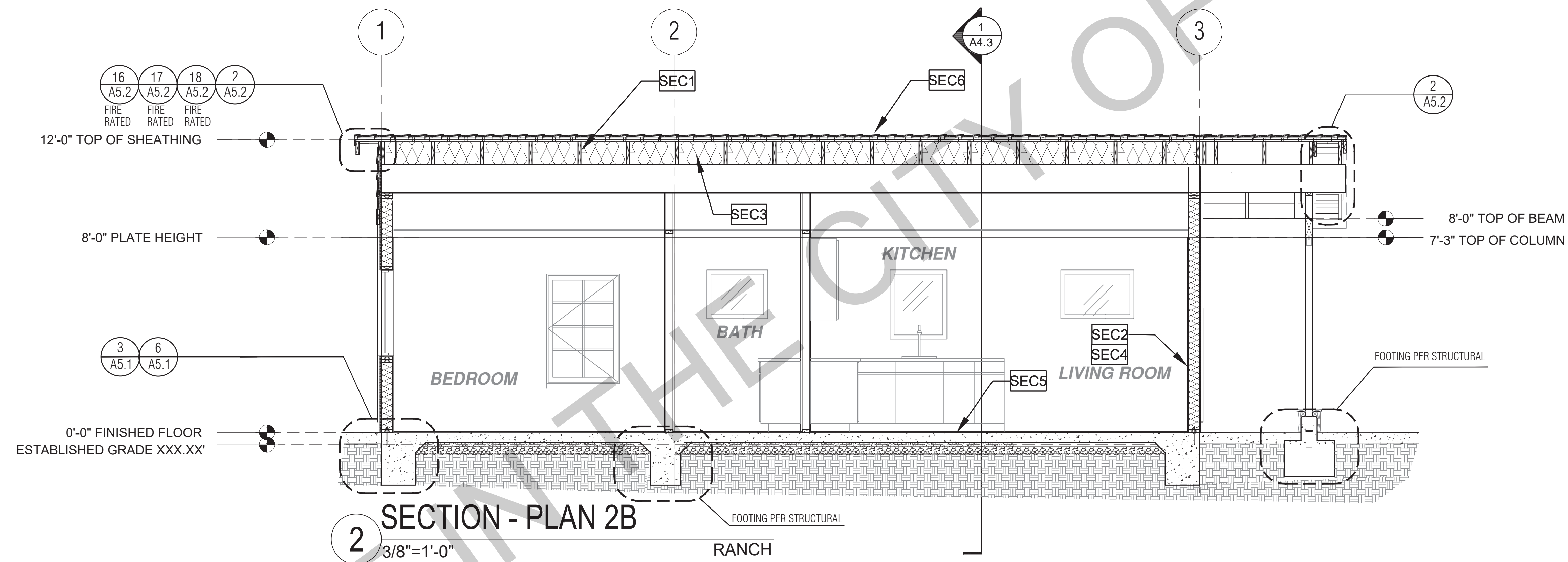
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drawn by DESIGN PATH STUDIO

sheet no. **A4.2**



1 SECTION - PLAN 2B  
3/8"=1'-0"  
RANCH



2 SECTION - PLAN 2B  
3/8"=1'-0"  
RANCH

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project  
City of Gonzales  
Pre-Approved ADU  
Plans

revisions  
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description  
Building  
Sections  
Ranch

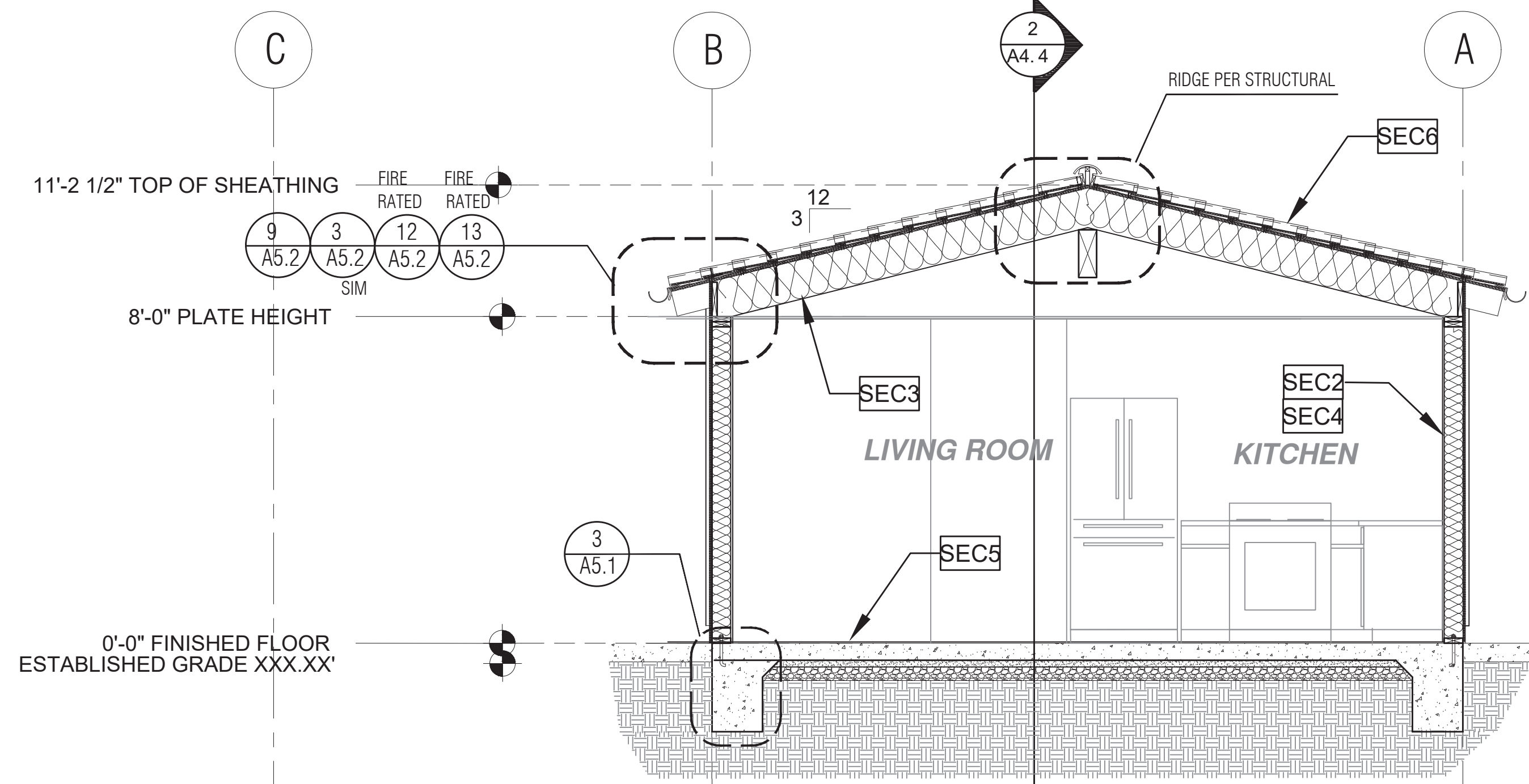
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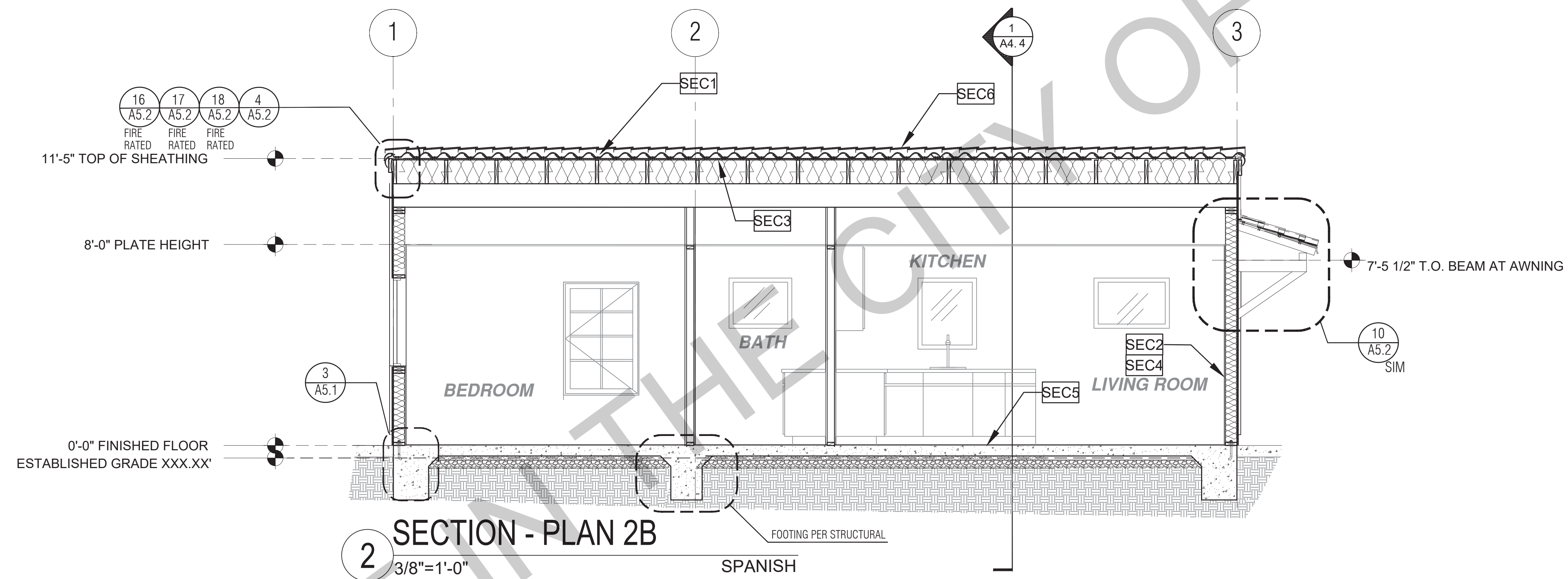
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sheet no. **A4.3**

SECTION KEYNOTES	SECTION GENERAL NOTES	LEGEND
<p><b>SEC1</b> RAFTERS PER PLAN SEE STRUCTURAL</p> <p><b>SEC2</b> 2X STUDS @ 16" O.C. - SEE STRUCTURAL</p> <p><b>SEC3</b> CEILING INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC4</b> KRAFT-FACED WALL INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC5</b> CONC. SLAB ON GRADE SEE STRUCTURAL</p> <p><b>SEC6</b> MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS</p>	<p>1. METALS SEE PLANS AND DETAILS FOR LOCATIONS, QUANTITY AND CONFIGURATION OF MISCELLANEOUS IRON AND STEEL WORK INCLUDING ASSORTED CLIPS, BRACKETS, ANGLES, STRAPS, POST ANCHORS AND LIKE ITEMS. FURNISH AND INSTALL ALL SUCH ITEMS NECESSARY TO MAKE A COMPLETE INSTALLATION WHETHER OR NOT SPECIFICALLY DETAILED OR NOTED ON THE DRAWINGS. ALL EXTERIOR METAL AND HARDWARE IS TO BE GALVANIZED. STEEL IS TO BE ASTM A3.</p> <p>2. RAFTER VENTS ARE TO BE STAINLESS STEEL MESH AND ARE TO BE SIZED TO MEET REQUIRED VENTILATION TO ENCLOSED RAFTER SPACES. MAX 2" MIN 1/2" OPENING SIZE ON VENT SCREEN WITH CORROSION RESISTANT WIRE SCREEN MATERIAL.</p> <p>3. FRAMER IS TO LAYOUT CEILING JOISTS/ROOF RAFTERS TO ACCOMMODATE RECESSED LIGHTS EXHAUST FANS OR OTHER ELECTRICAL/MECHANICAL FIXTURES.</p> <p>4. WOOD SOFFIT/CEILING, SIDING &amp; TRIM ALL NAILS, FASTENERS AND HARDWARE MUST BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED. STAPLES ARE NOT PERMITTED.</p> <p>5. INSULATION THERMAL INSULATION IS TO BE KRAFT-FACED BATT INSULATION WITH AN R-VALUE NOT LESS SPECIFIED IN THE TITLE 24 ENERGY CALCULATIONS. AT BATHROOMS, LAUNDRY ROOM, AND MASTER BED/BATHROOMS INSULATION IS TO BE PROVIDED WITH SOUND INSULATION.</p> <p>6. FLASHING AND SHEET METAL ALL FLASHING AND COUNTER FLASHING IS TO BE GALVANIZED AND INSTALLED AS PER SMACNA STANDARDS. ALL PROPOSED FLASHING AND SHEET METAL MATERIALS, GAUGE AND INSTALLATION IS TO BE IN ACCORDANCE WITH SMACNA MANUAL STANDARDS.</p> <p>7. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, AND STRUCTURAL PLANS. *KEYNOTES ONLY APPLY IF REFERENCED ON PLANS</p> <p>8. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILING AND COVE CEILING</p> <p>9. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.</p> <p>10. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS</p> <p>11. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19</p> <p>12. FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION</p> <p>13. SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS: 1. TWO-INCH NOMINAL NUMBER 2. TWO THICKNESS OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS 3. THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS 4. THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD 5. ONE-HALF-INCH GYPSUM BOARD 6. ONE-FOURTH-INCH CEMENT-BASED MILLBOARD 7. BATTIS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE 8. CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION</p>	<p><b>LEGEND</b></p> <p>SECTION CUT</p> <p>ELEVATION CALLOUT</p> <p>DETAIL DRAWING REF.</p> <p>ELEVATION MARKER</p>



1 SECTION - PLAN 2B  
3/8"=1'-0"  
SPANISH



2 SECTION - PLAN 2B  
3/8"=1'-0"  
SPANISH

SECTION KEYNOTES	
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LEGEND	
	SECTION CUT
	ELEVATION CALLOUT
	DETAIL DRAWING REF.
	ELEVATION MARKER

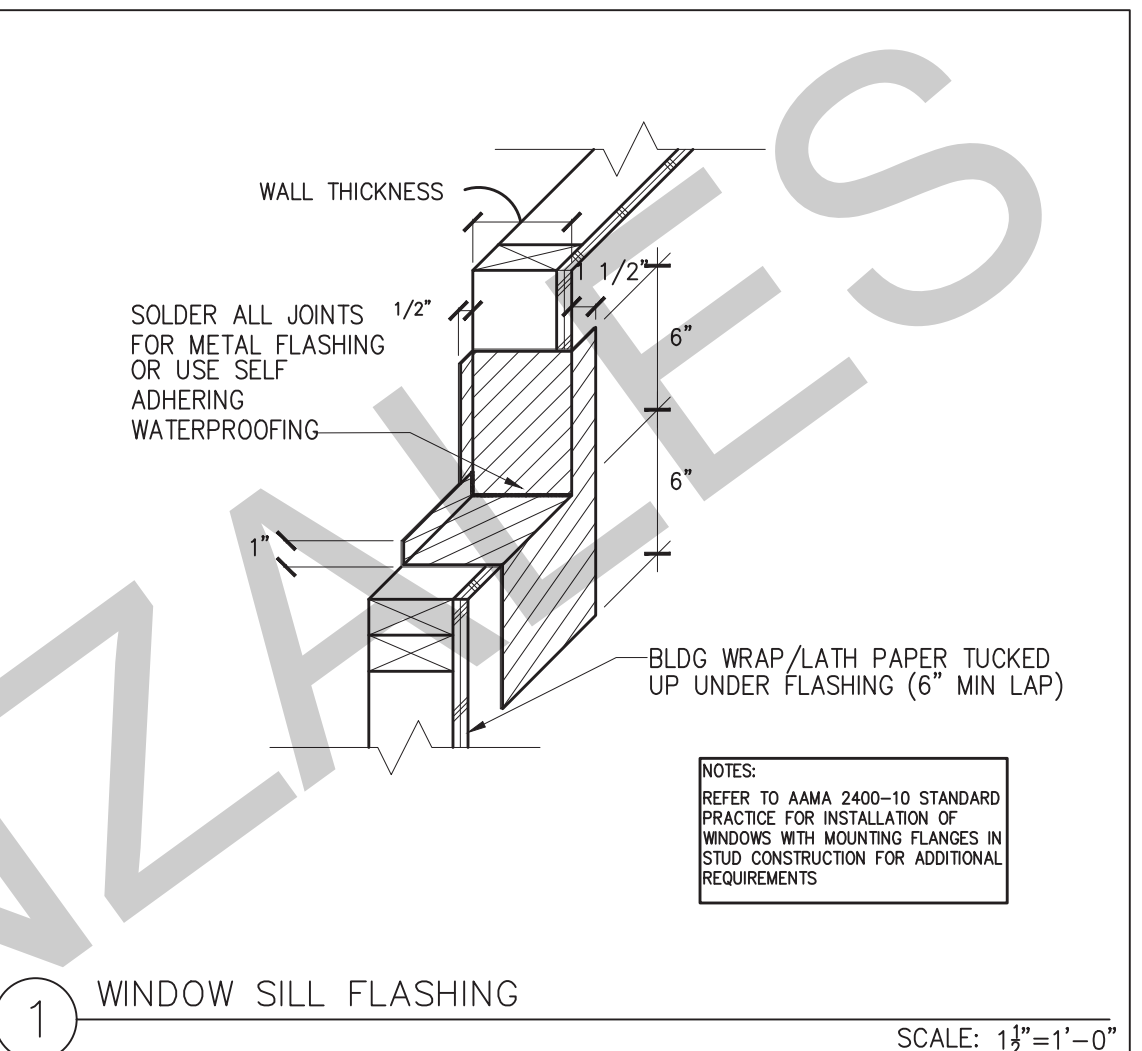
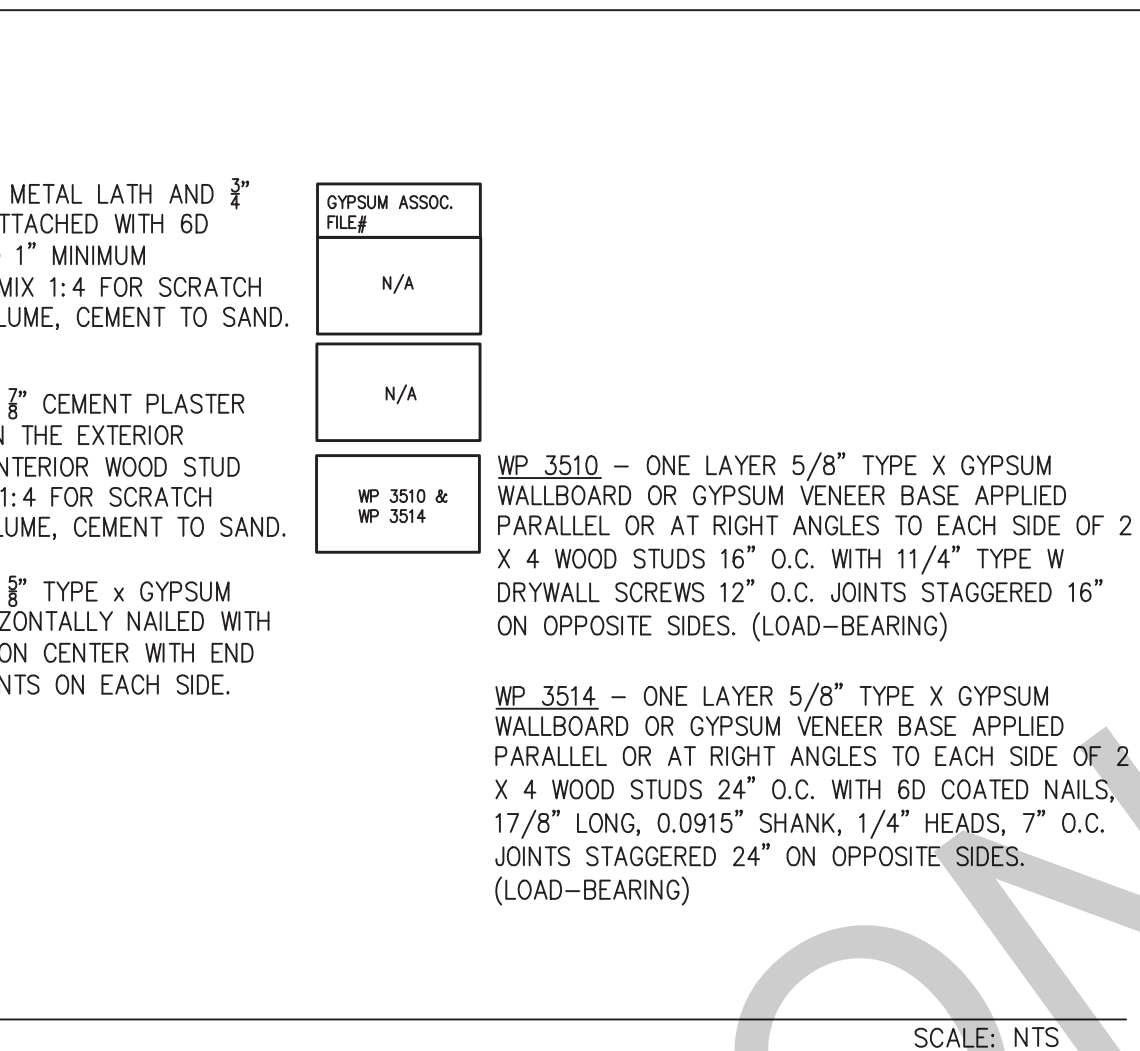
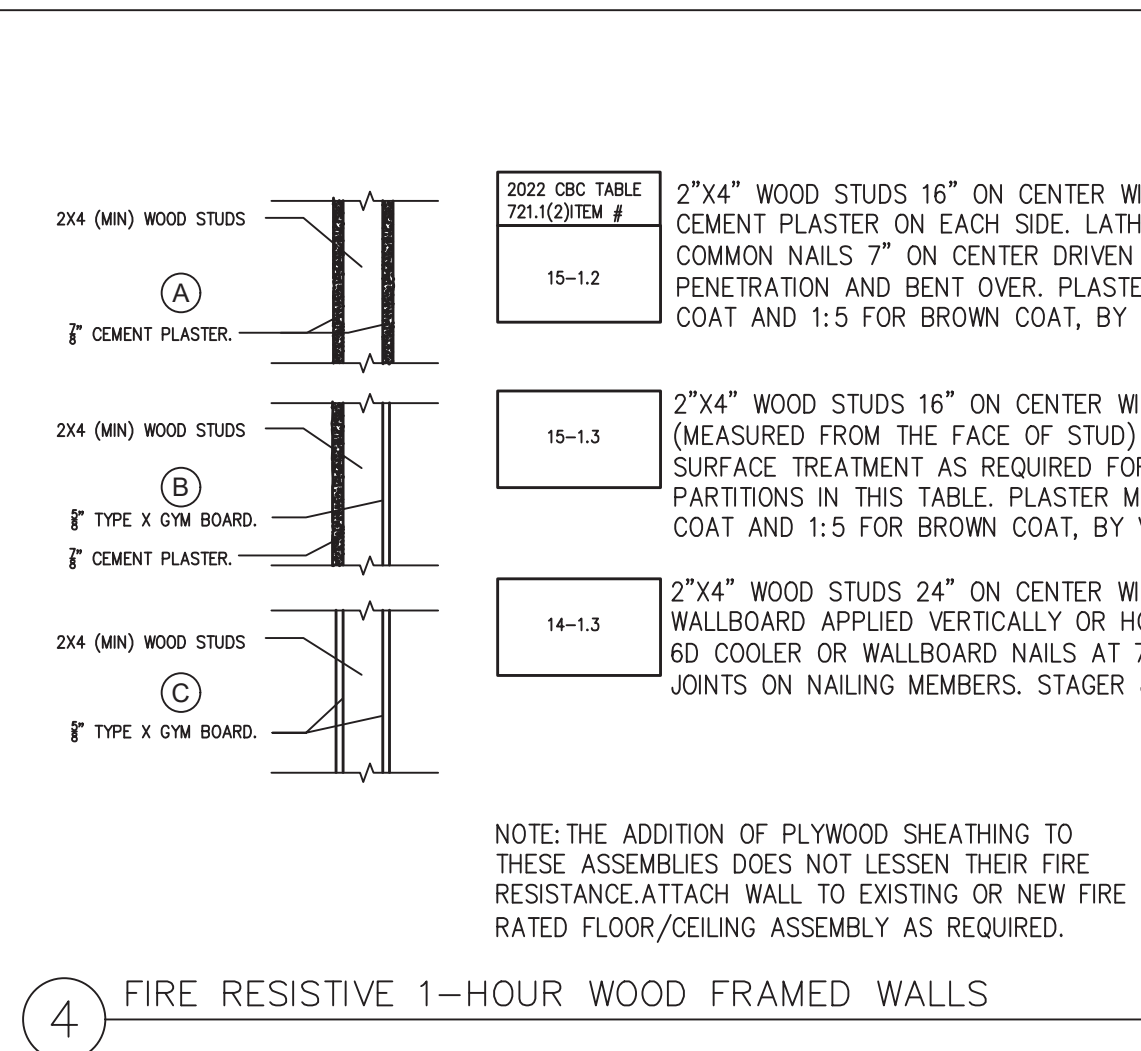
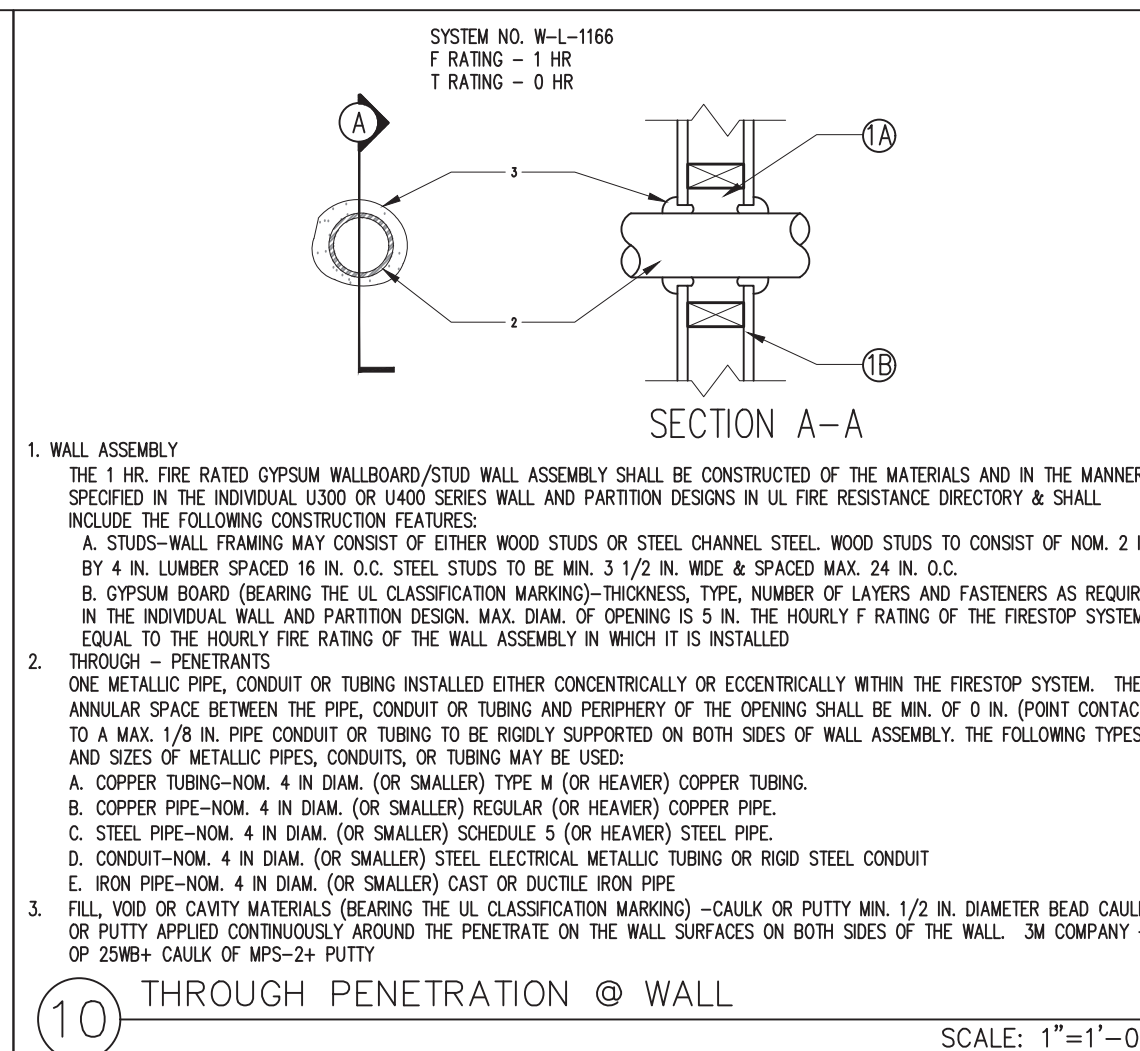
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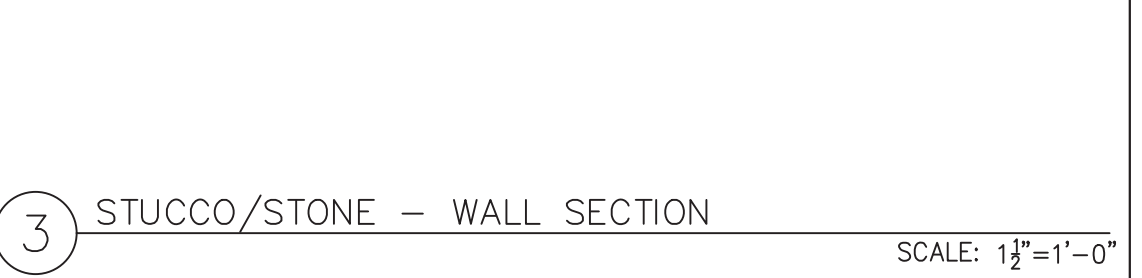
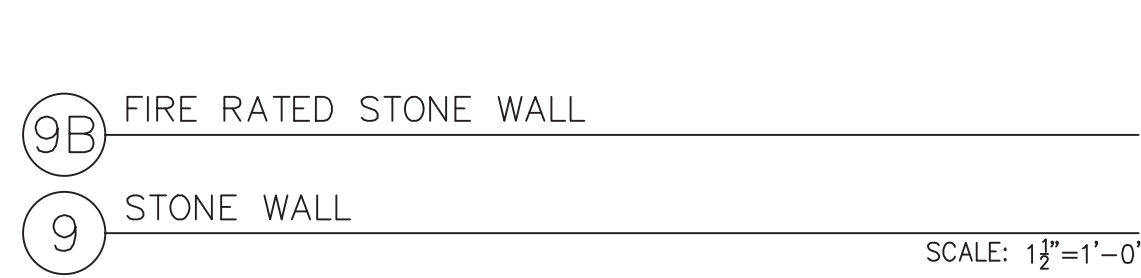
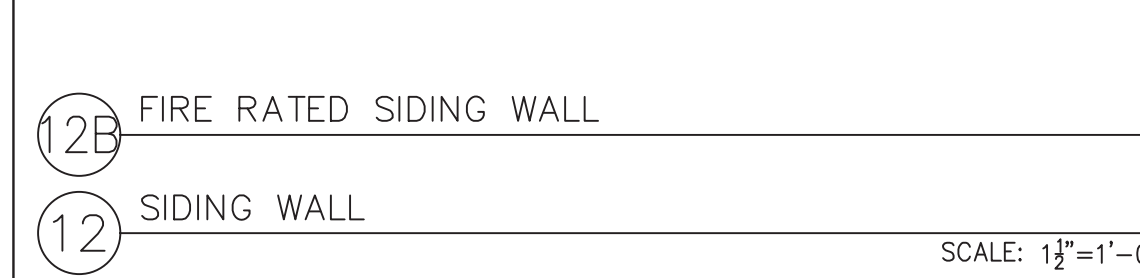
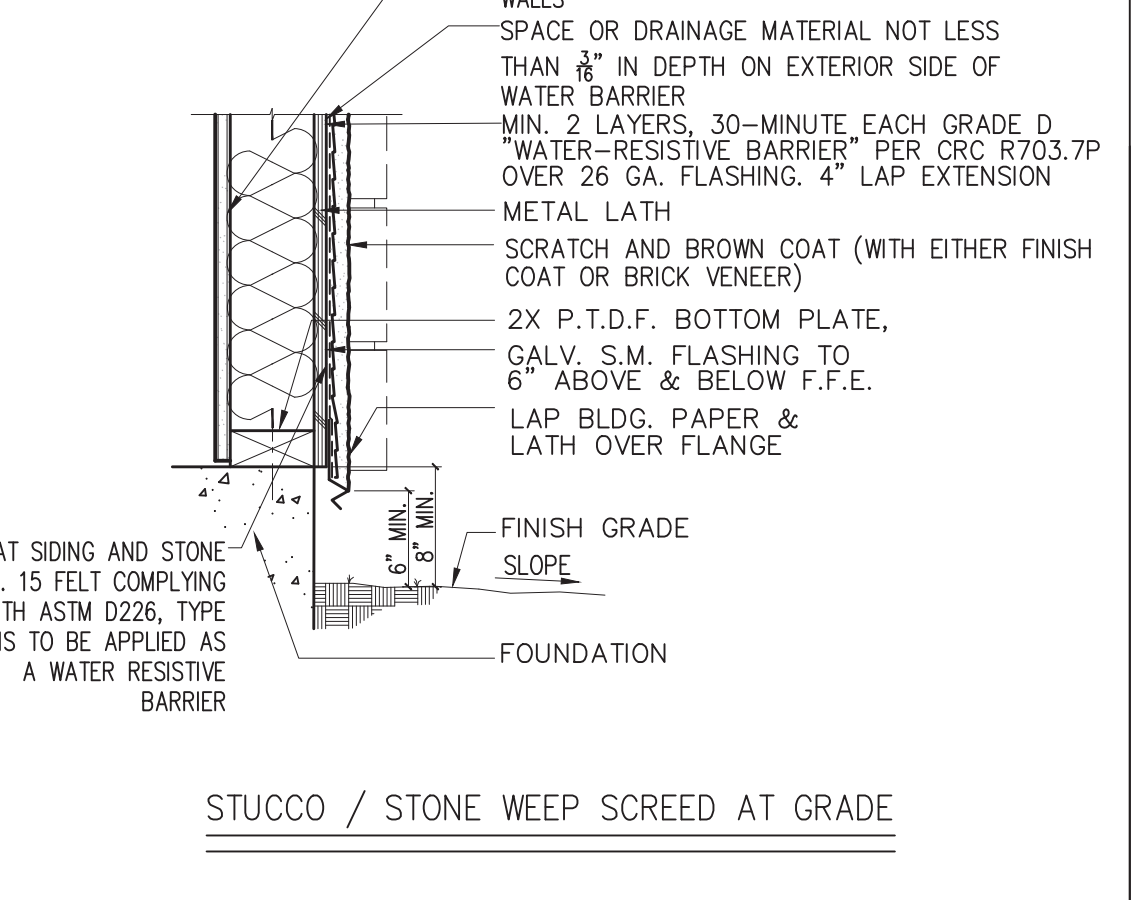
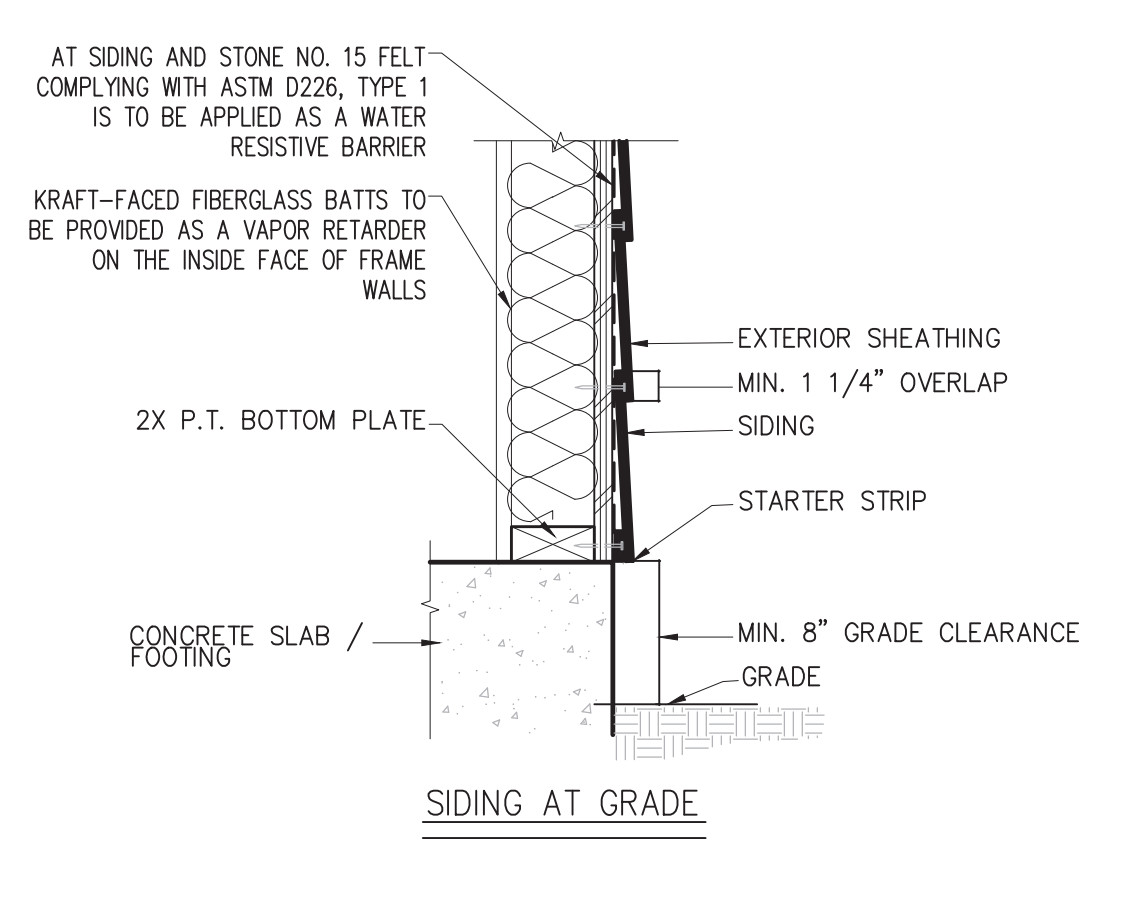
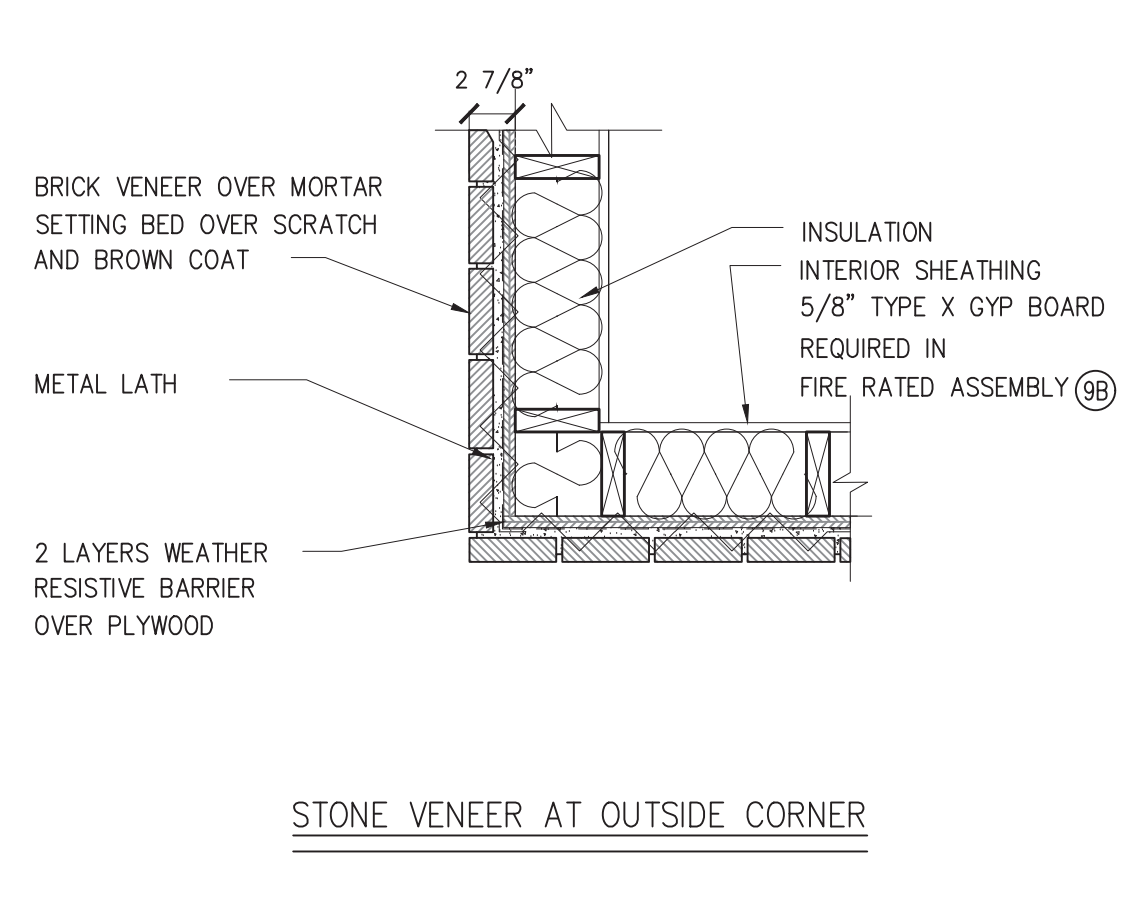
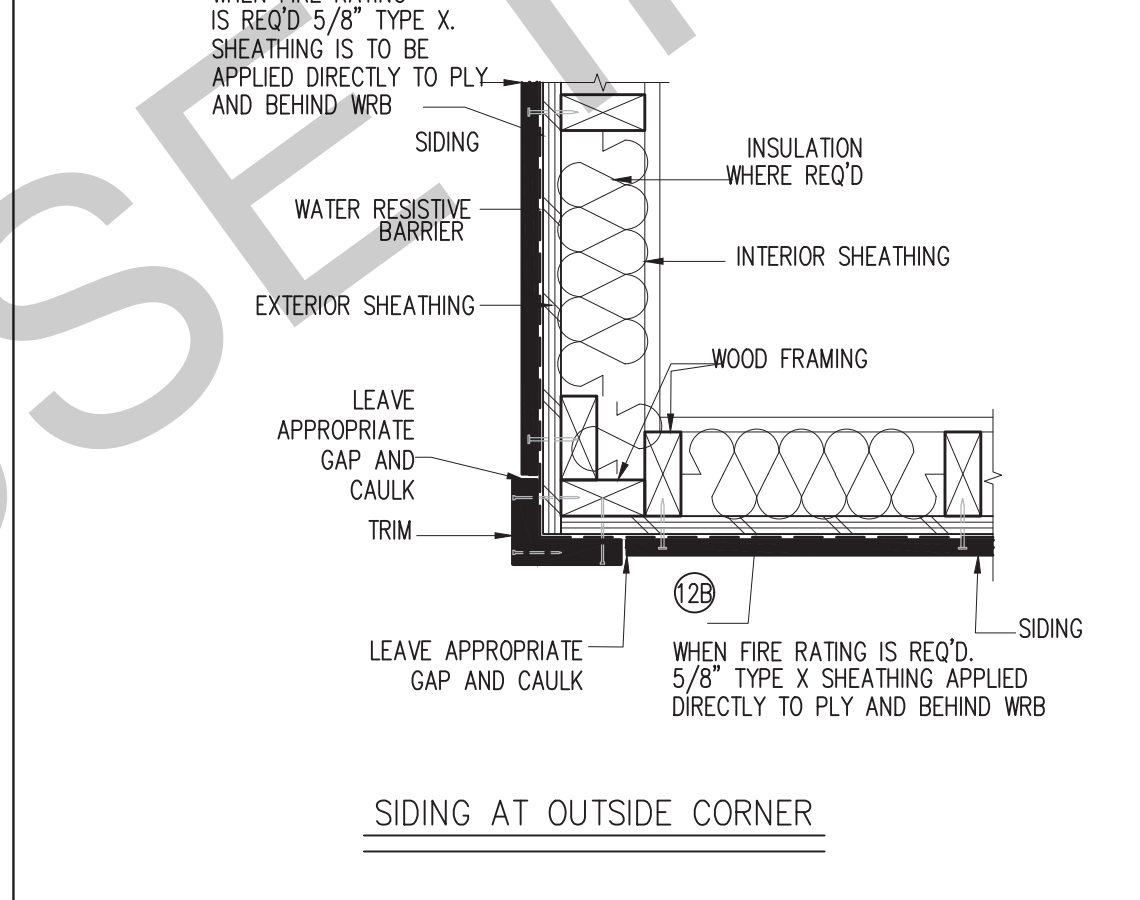
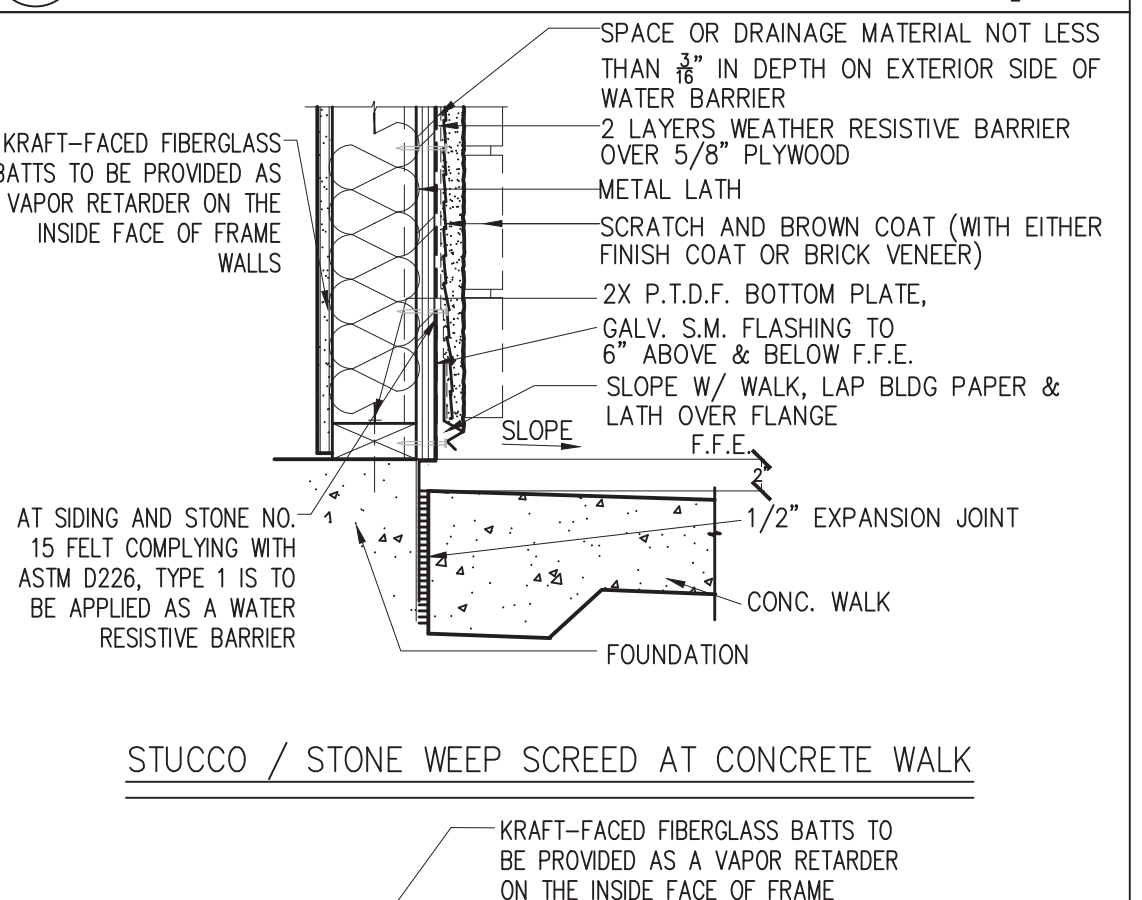
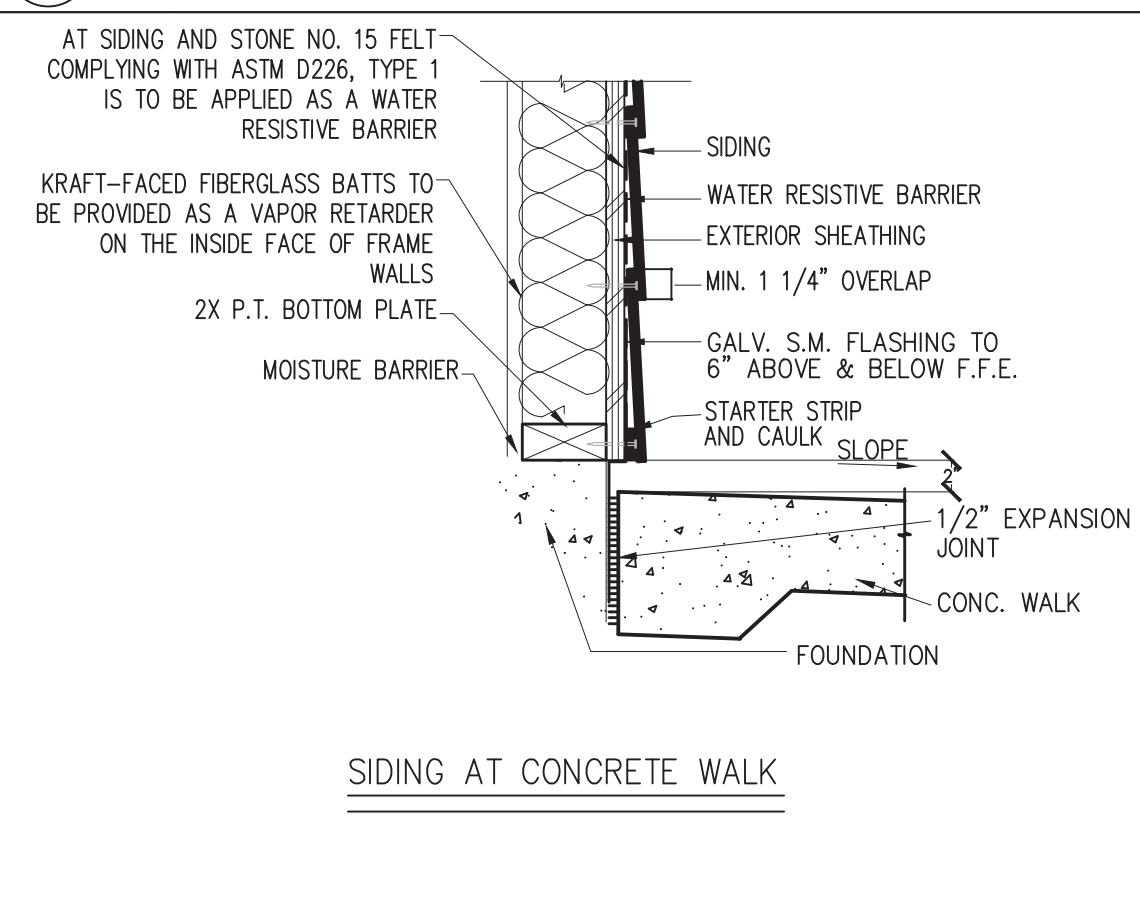
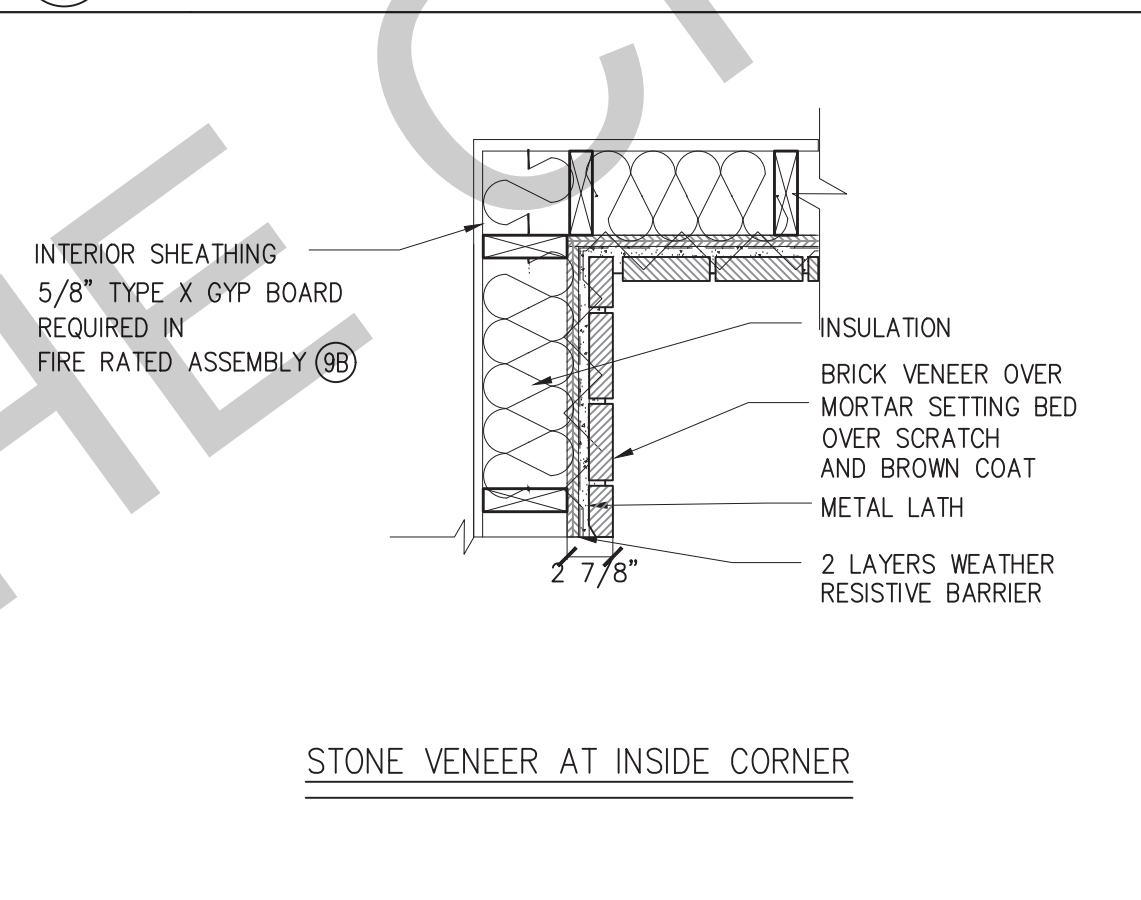
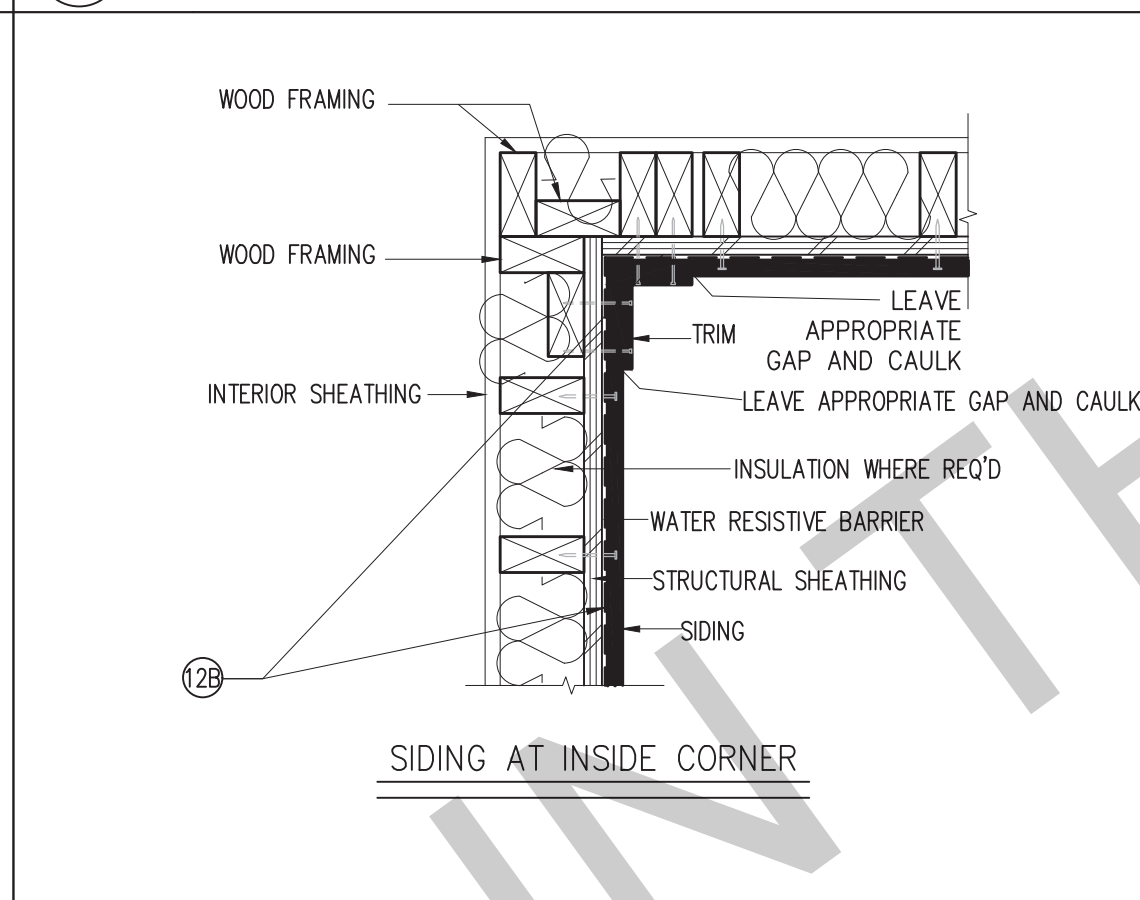
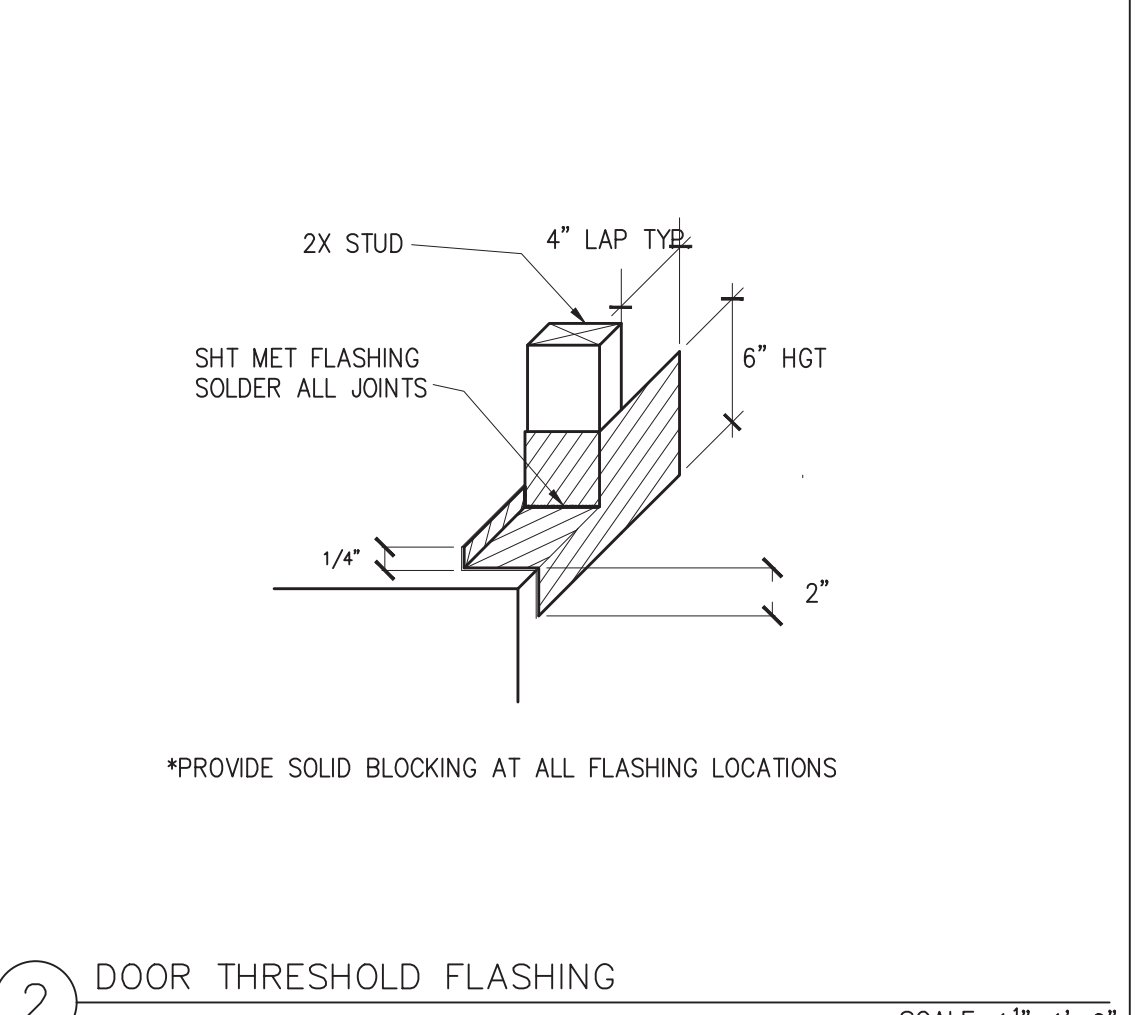
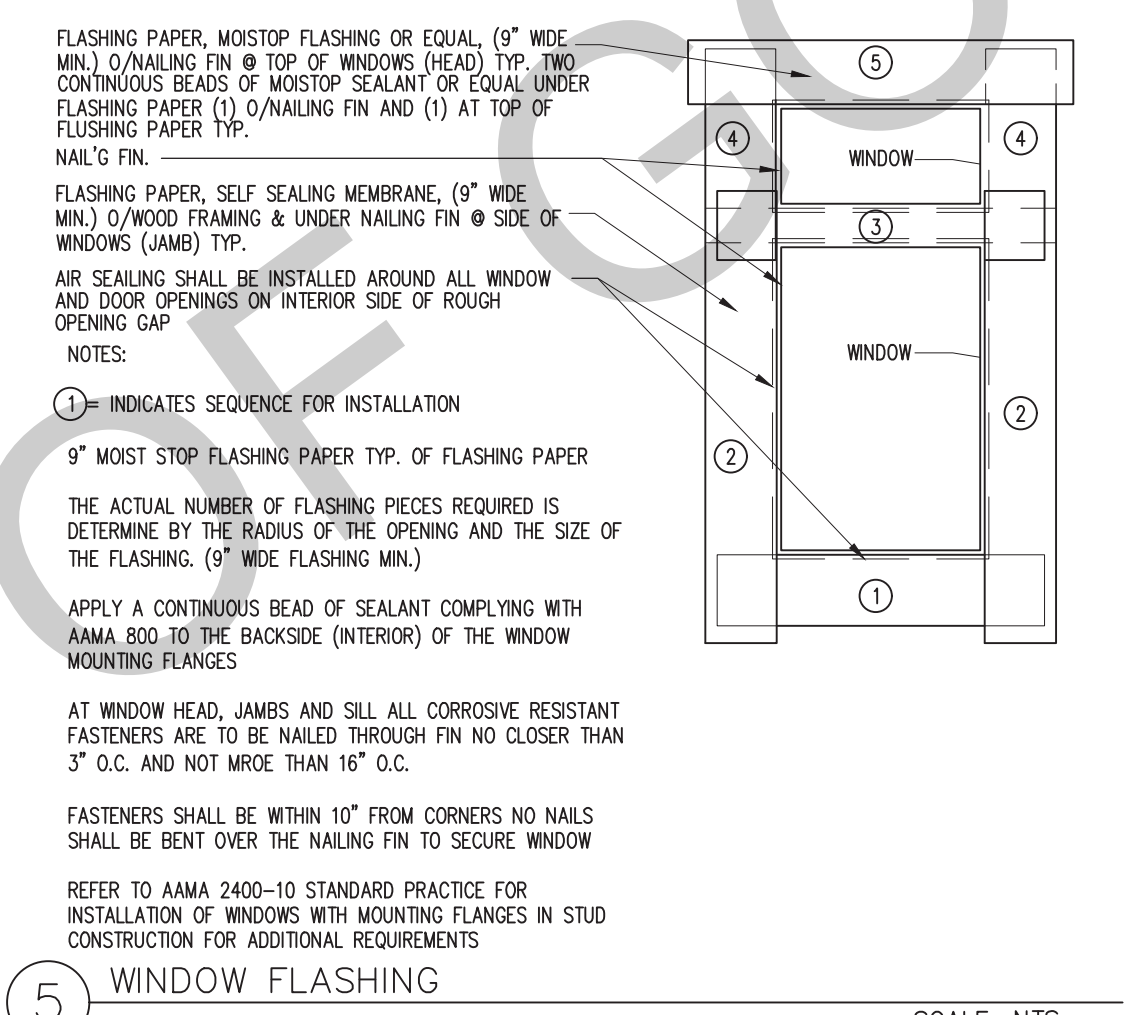
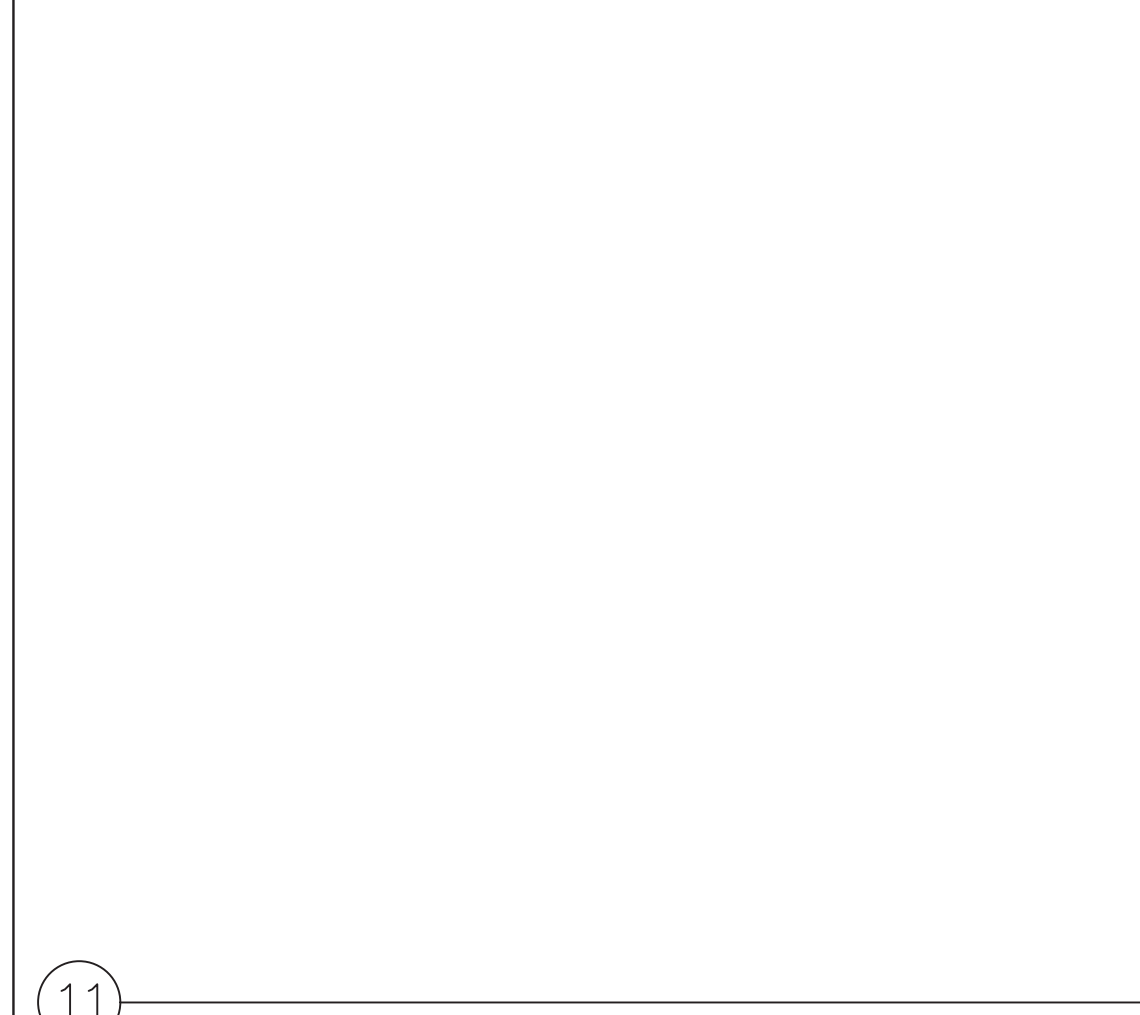
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**Building  
Sections  
Spanish**

date September 2023  
 project no.  
 drawn by DESIGN PATH STUDIO  
 sheet no. **A4.4**



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City of Gonzales  
Pre-Approved ADU  
Plans

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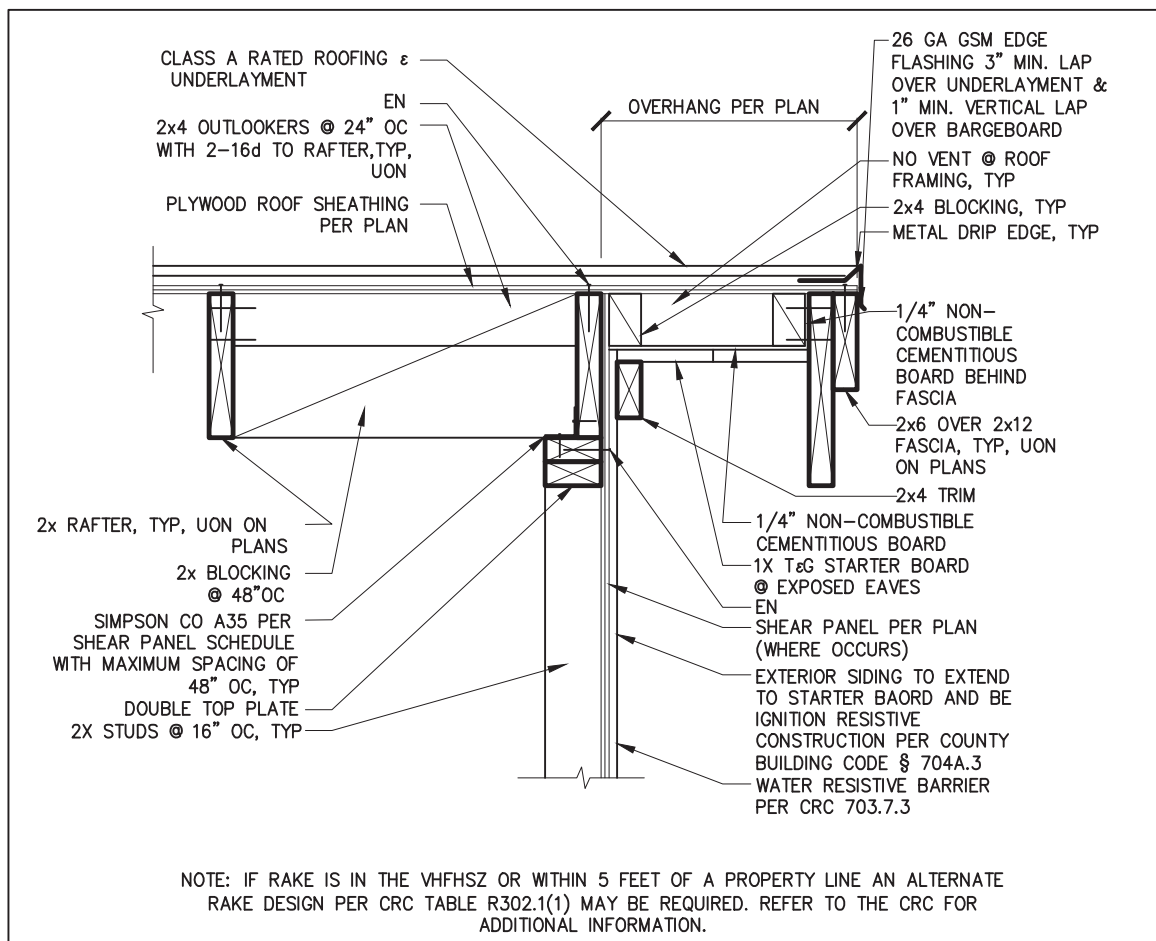
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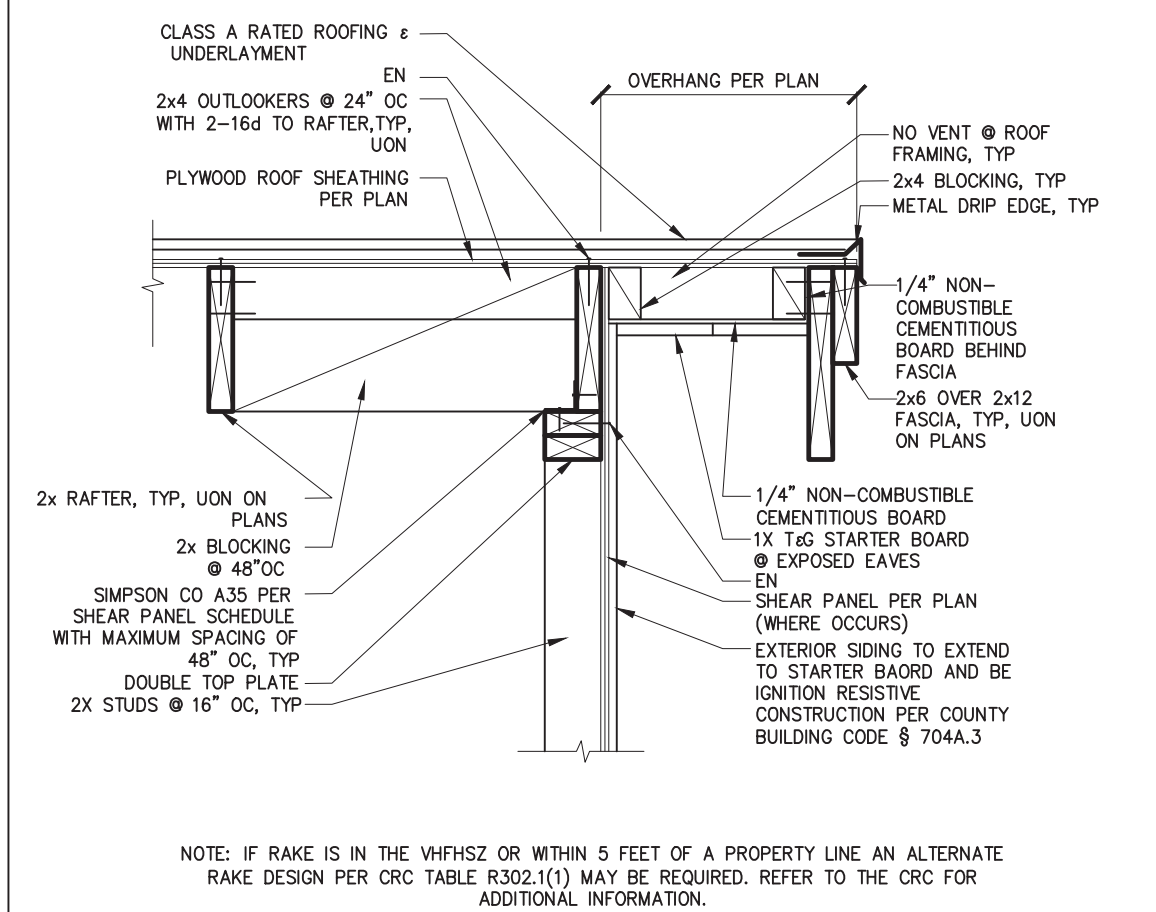
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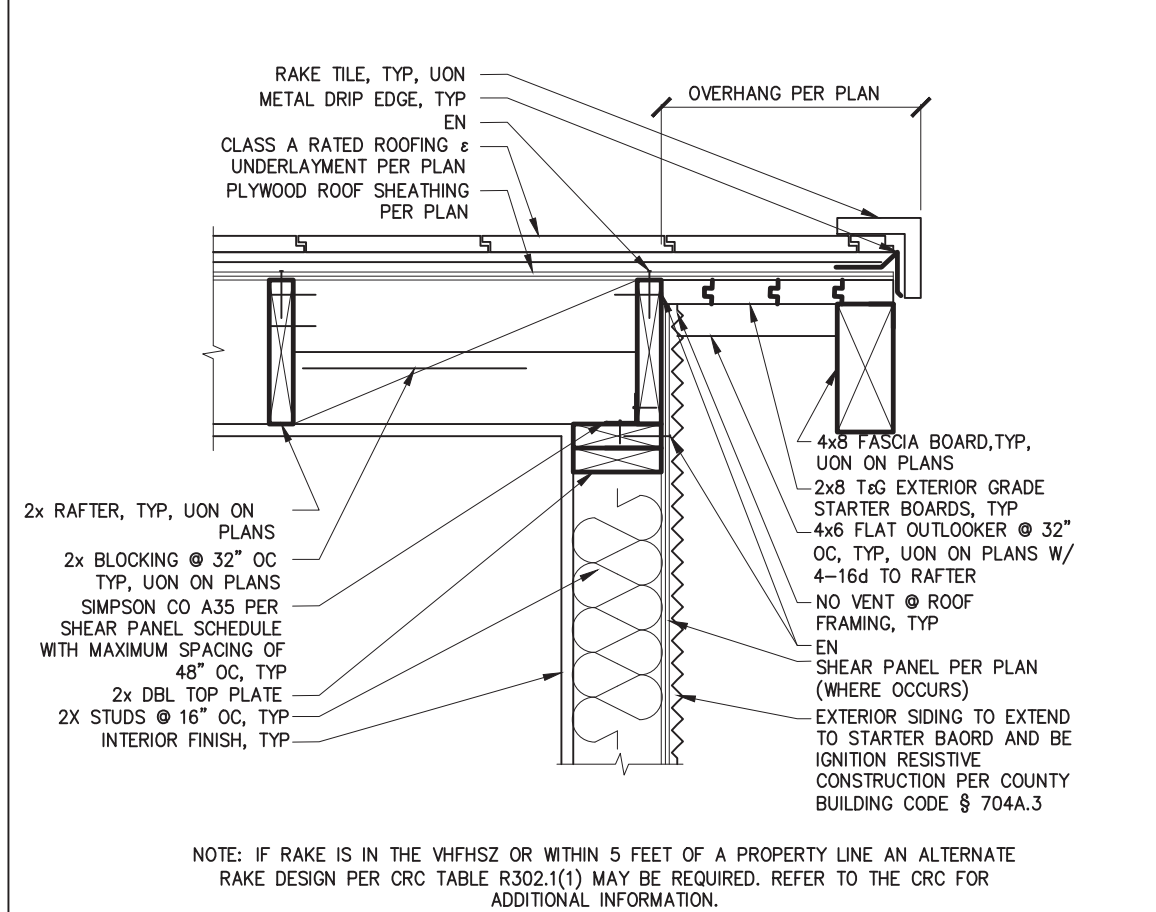
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A5.1



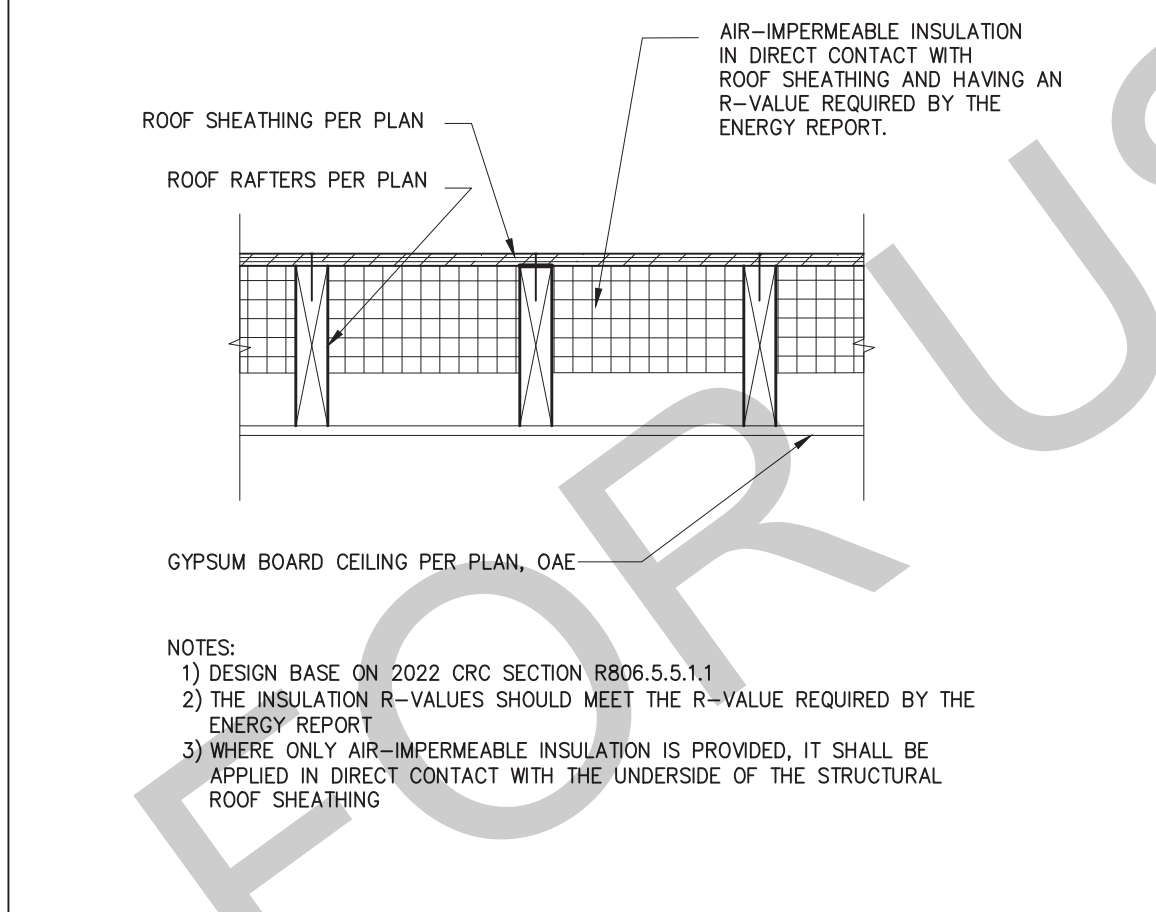
16 IGNITION RESISTIVE GABLE WITH 2x FASCIA SCALE: 1"=1'-0"



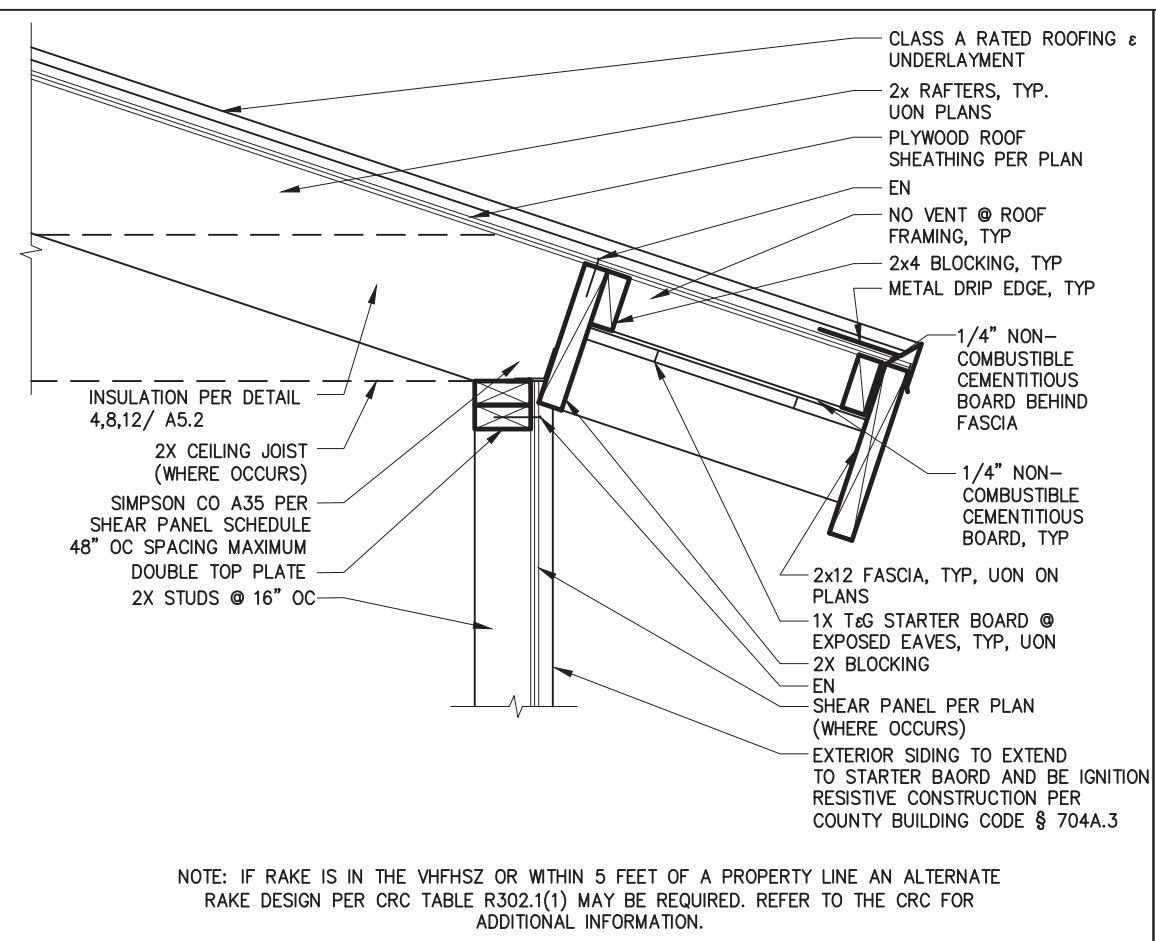
17 IGNITION RESISTIVE GABLE WITH 2x6 & 2x12 FASCIA SCALE: 1"=1'-0"



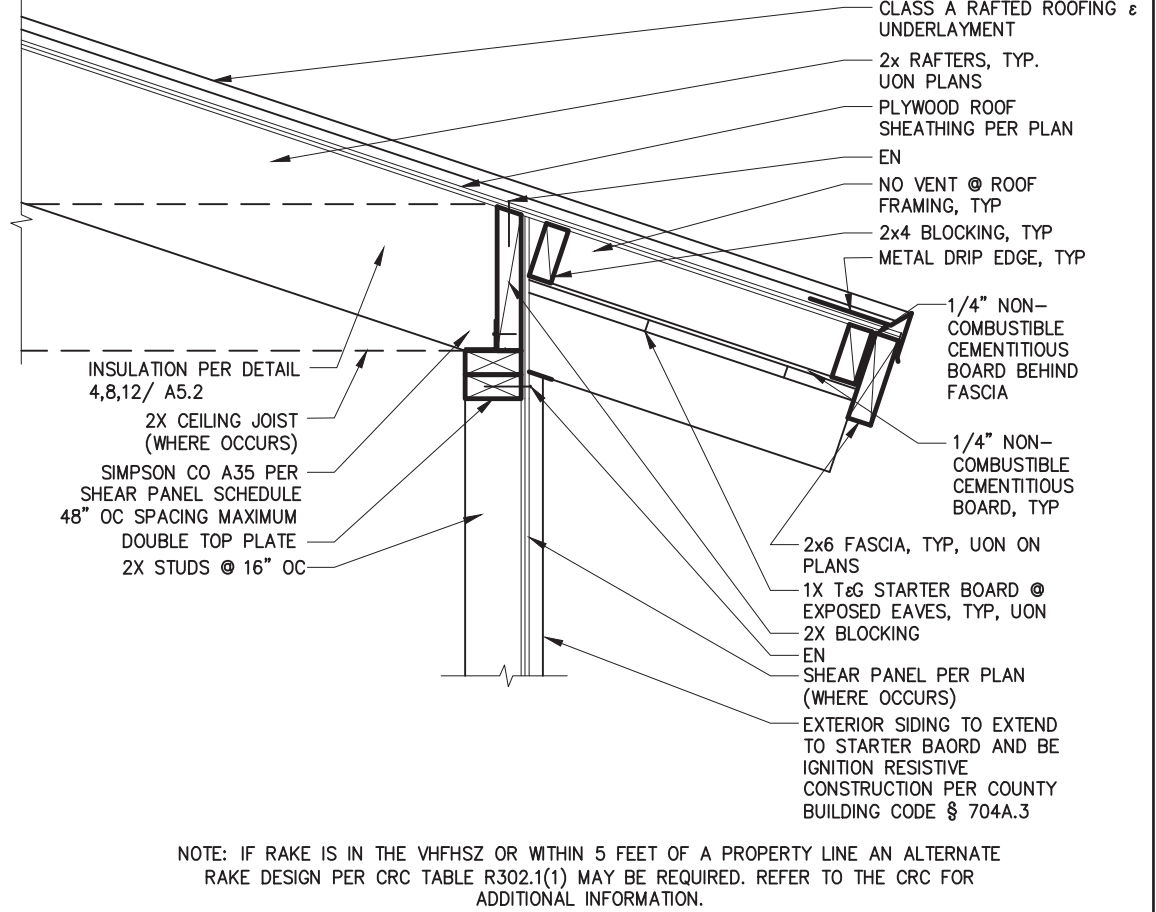
18 IGNITION RESISTIVE GABLE HEAVY TIMBER SCALE: 1"=1'-0"



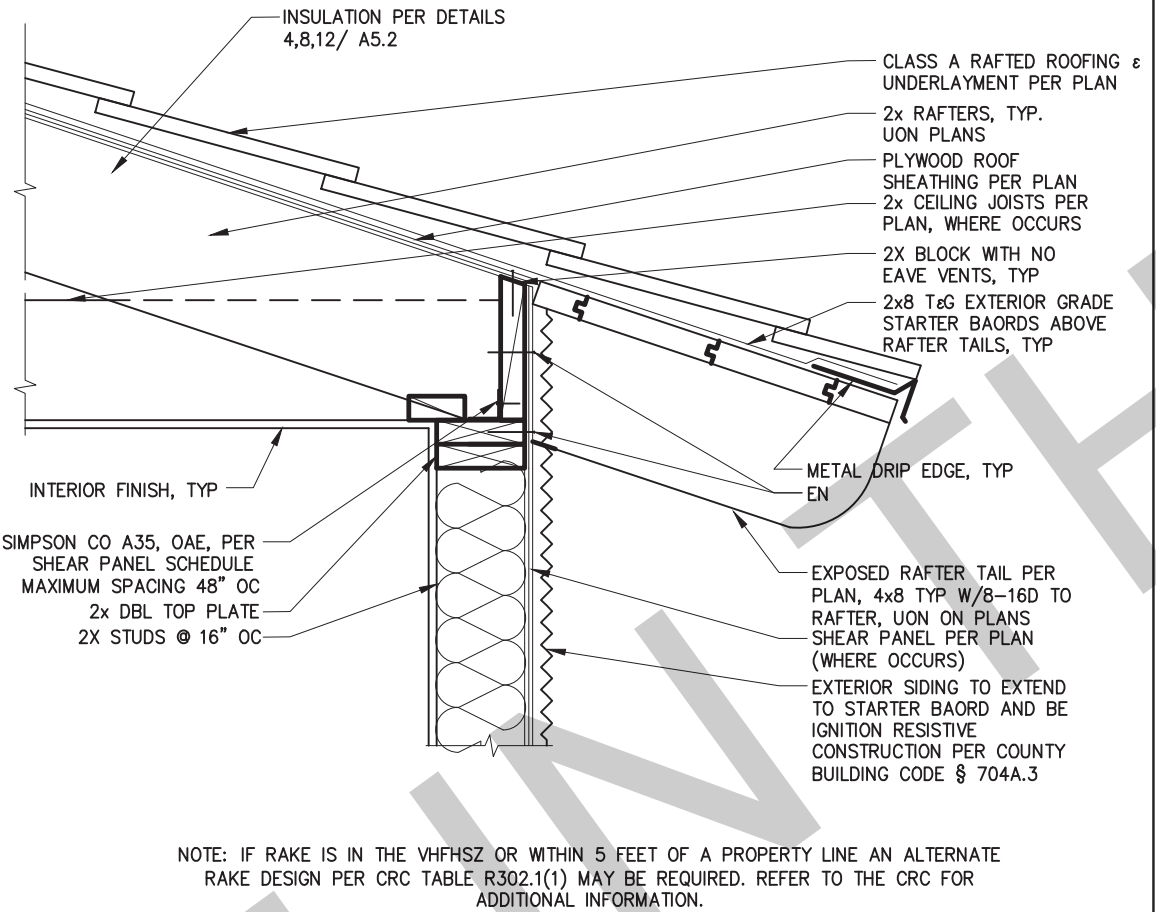
19 INSULATION @ UNVENTED ROOF ASSEMBLY IMPERMEABLE ONLY SCALE: 1"=1'-0"



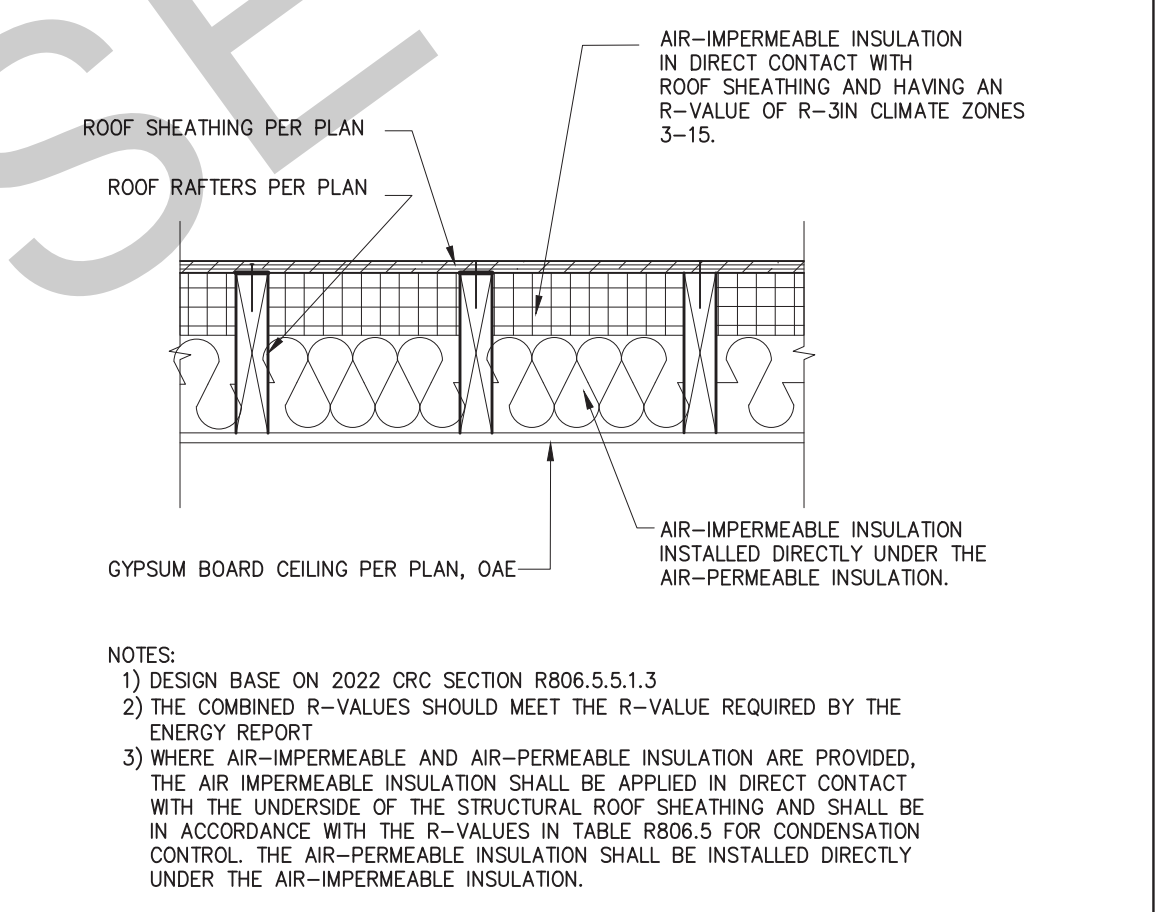
12 IGNITION RESISTIVE RAFTER EAVE WITH 2x FASCIA SCALE: 1"=1'-0"



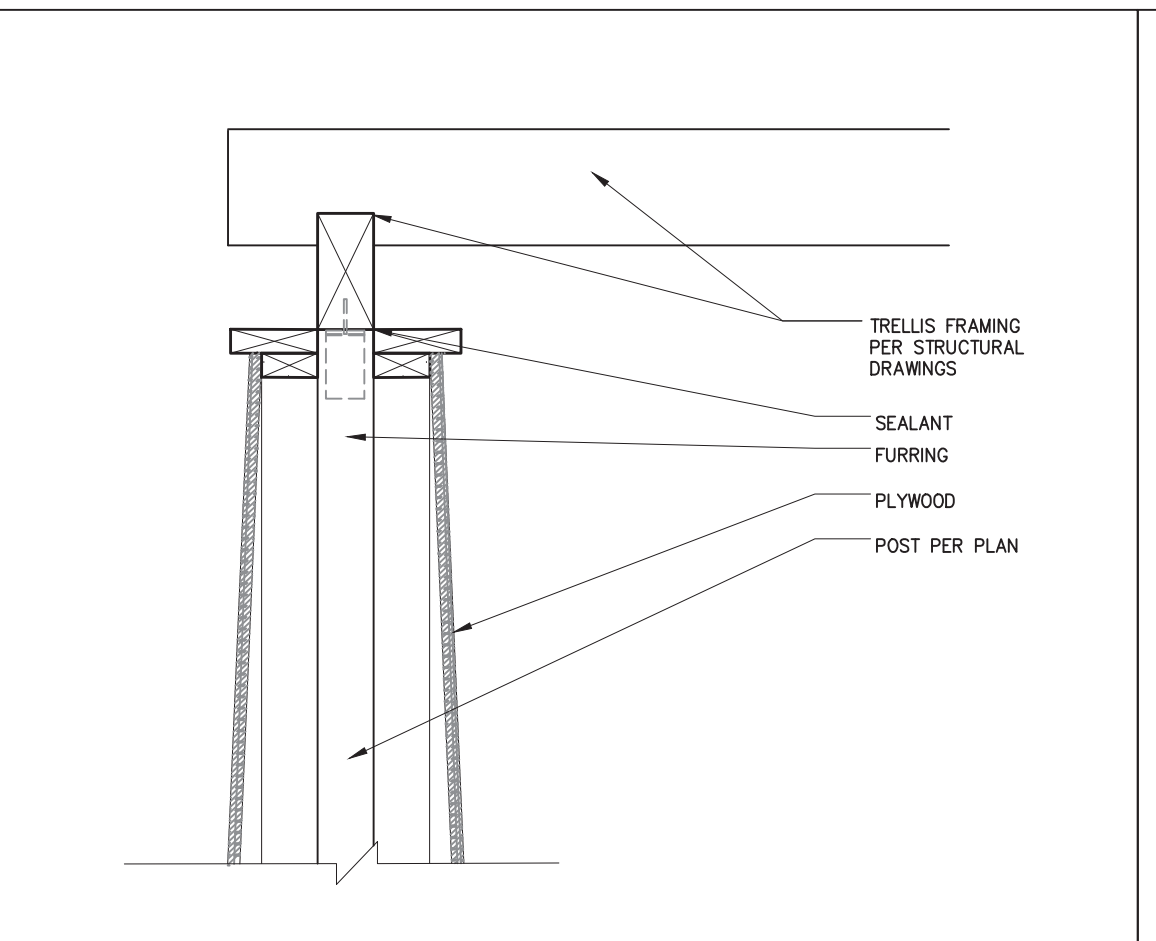
13 IGNITION RESISTIVE EXPOSED RAFTER EAVE SCALE: 1"=1'-0"



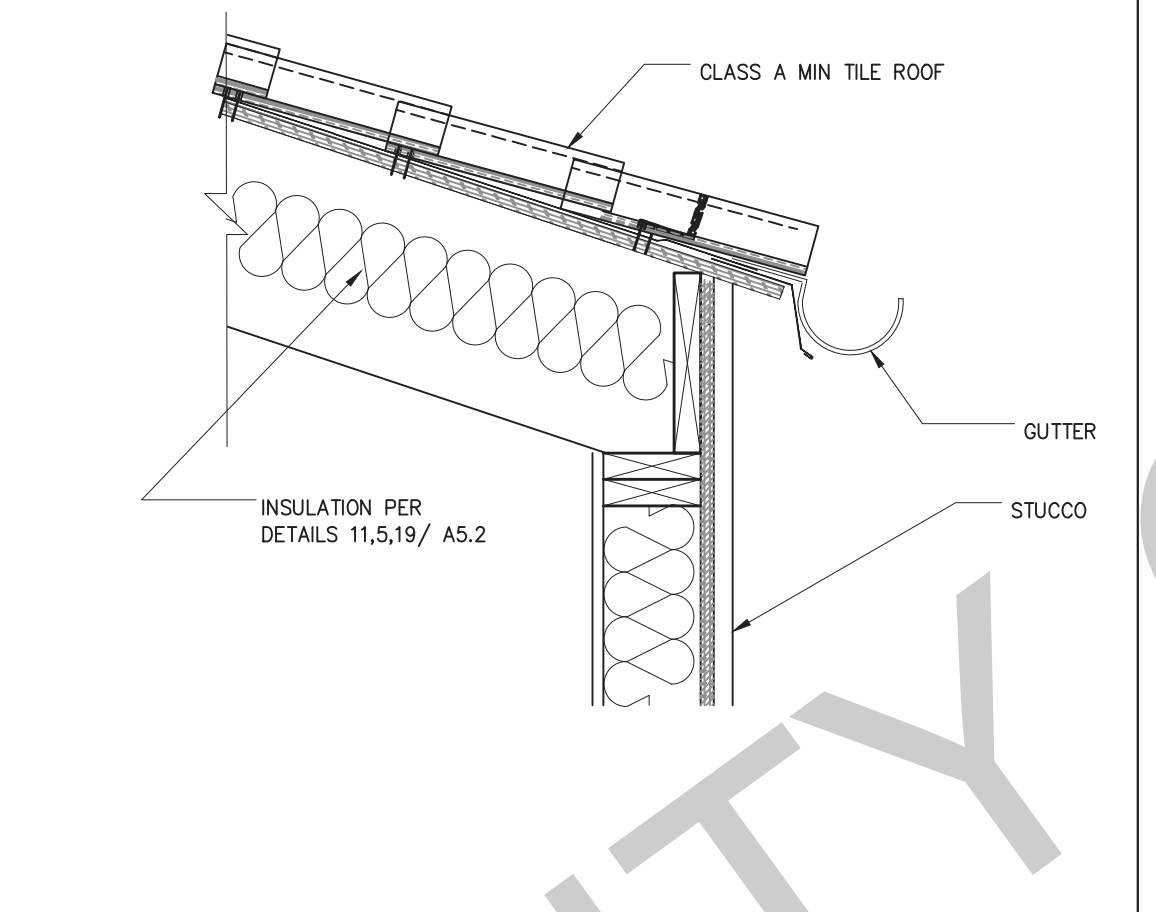
14 IGNITION RESISTIVE RAFTER EAVE HEAVY TIMBER SCALE: 1"=1'-0"



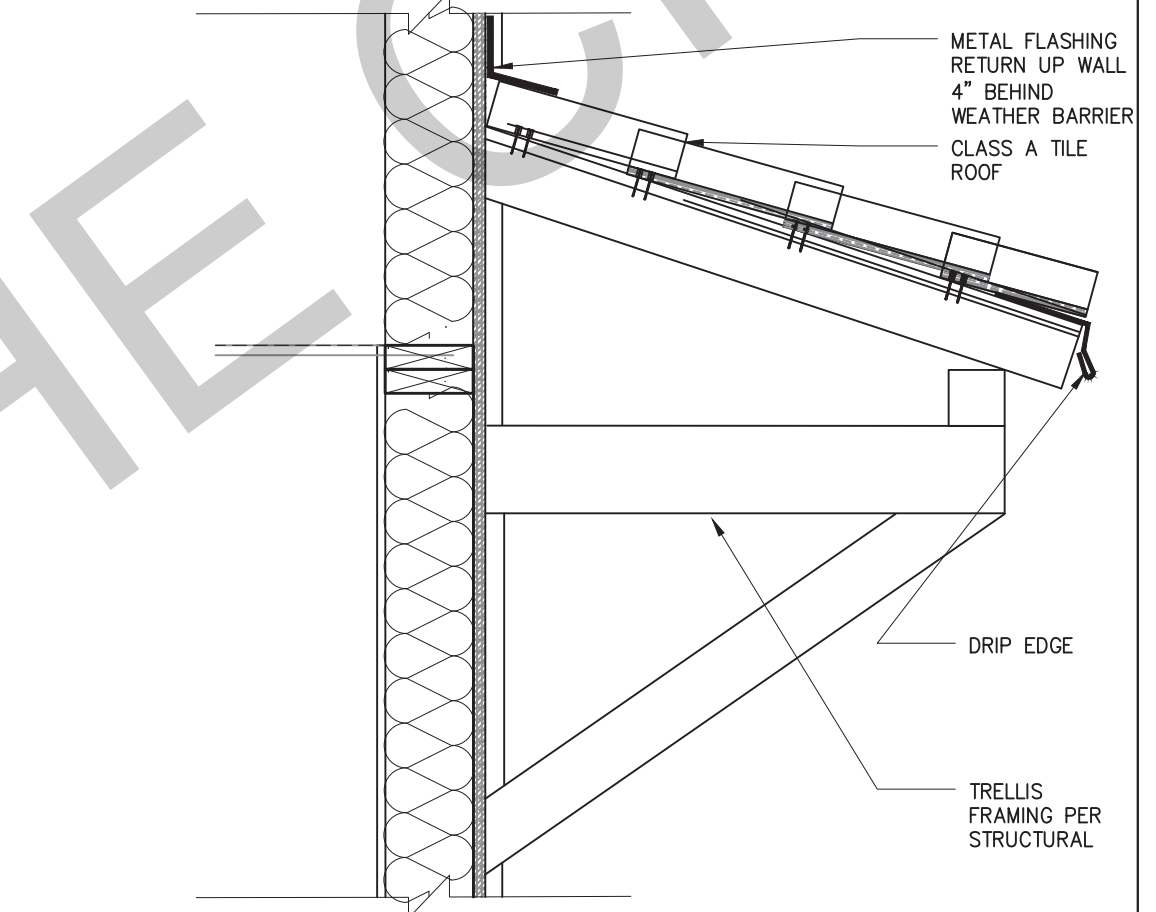
15 INSULATION @ UNVENTED ROOF ASSEMBLY BOTH TYPES SCALE: 1"=1'-0"



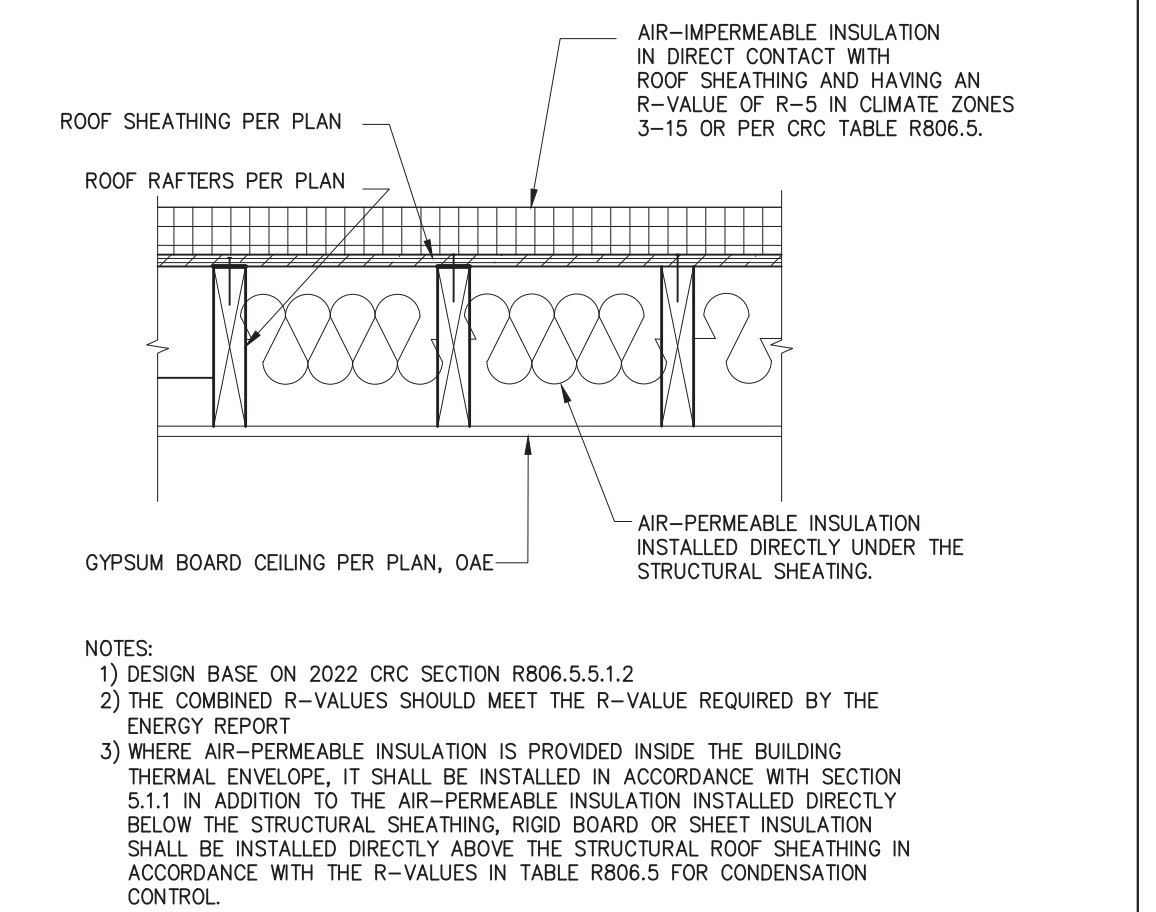
8 TRELLIS BEAM AT COLUMN - CRAFTSMAN SCALE: 1"=1'-0"



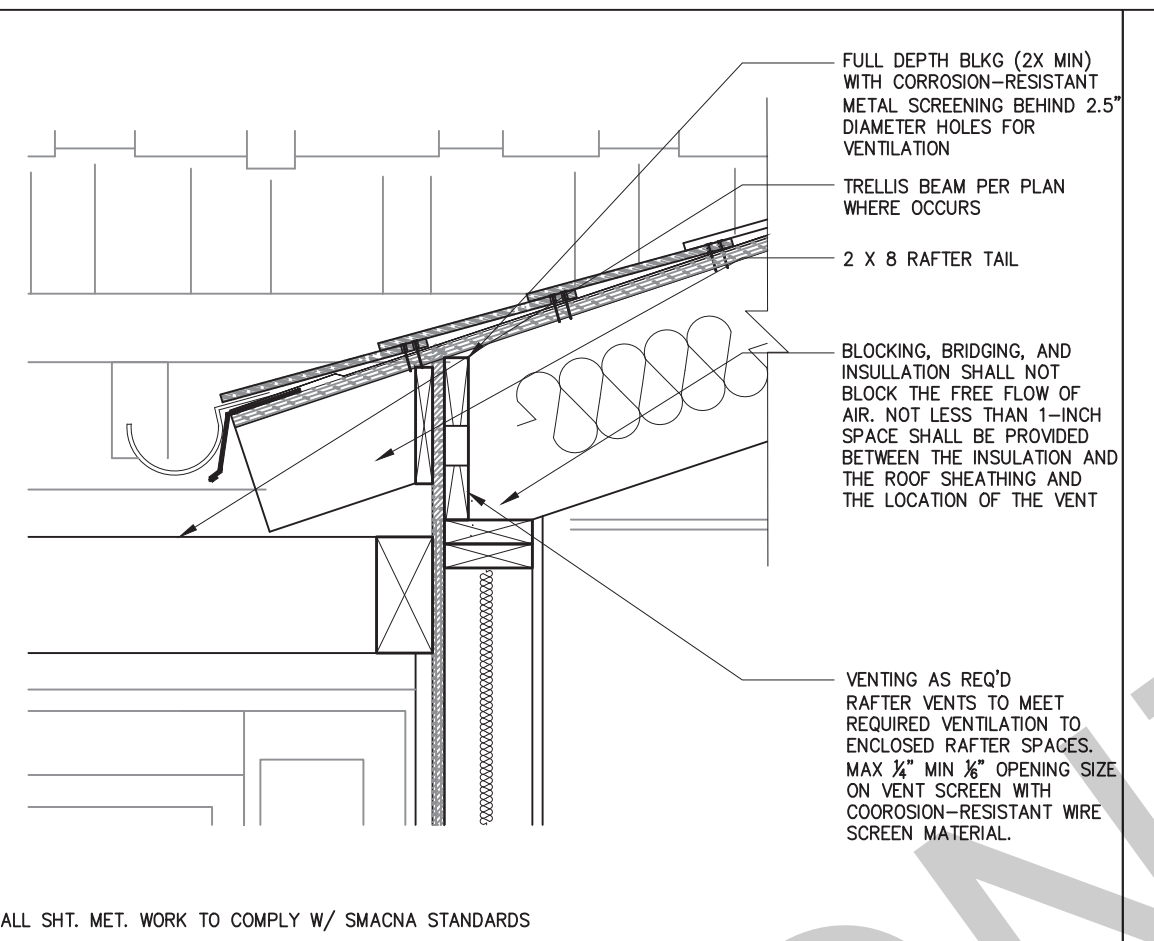
9 RAFTER EAVE WITHOUT VENTING - SPANISH SCALE: 1"=1'-0"



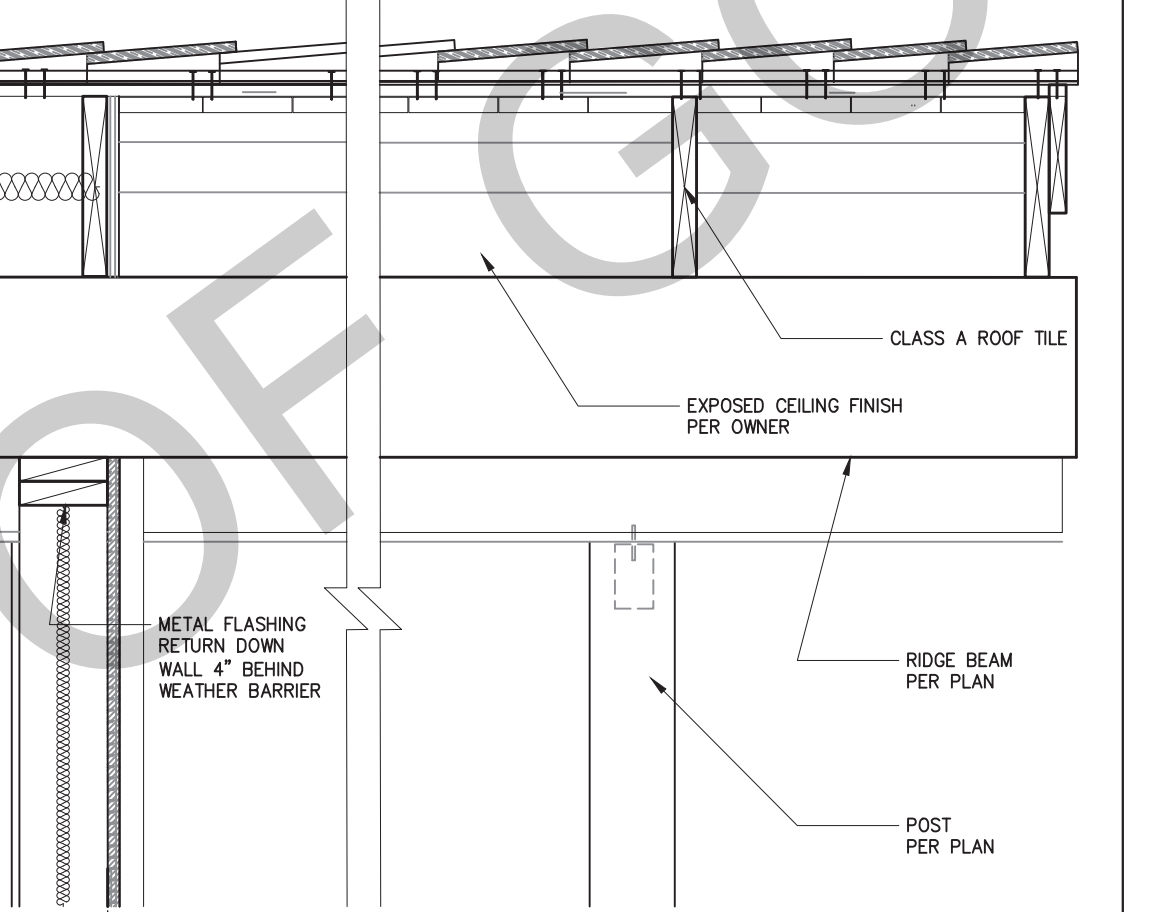
10 AWNING - SPANISH SCALE: 1"=1'-0"



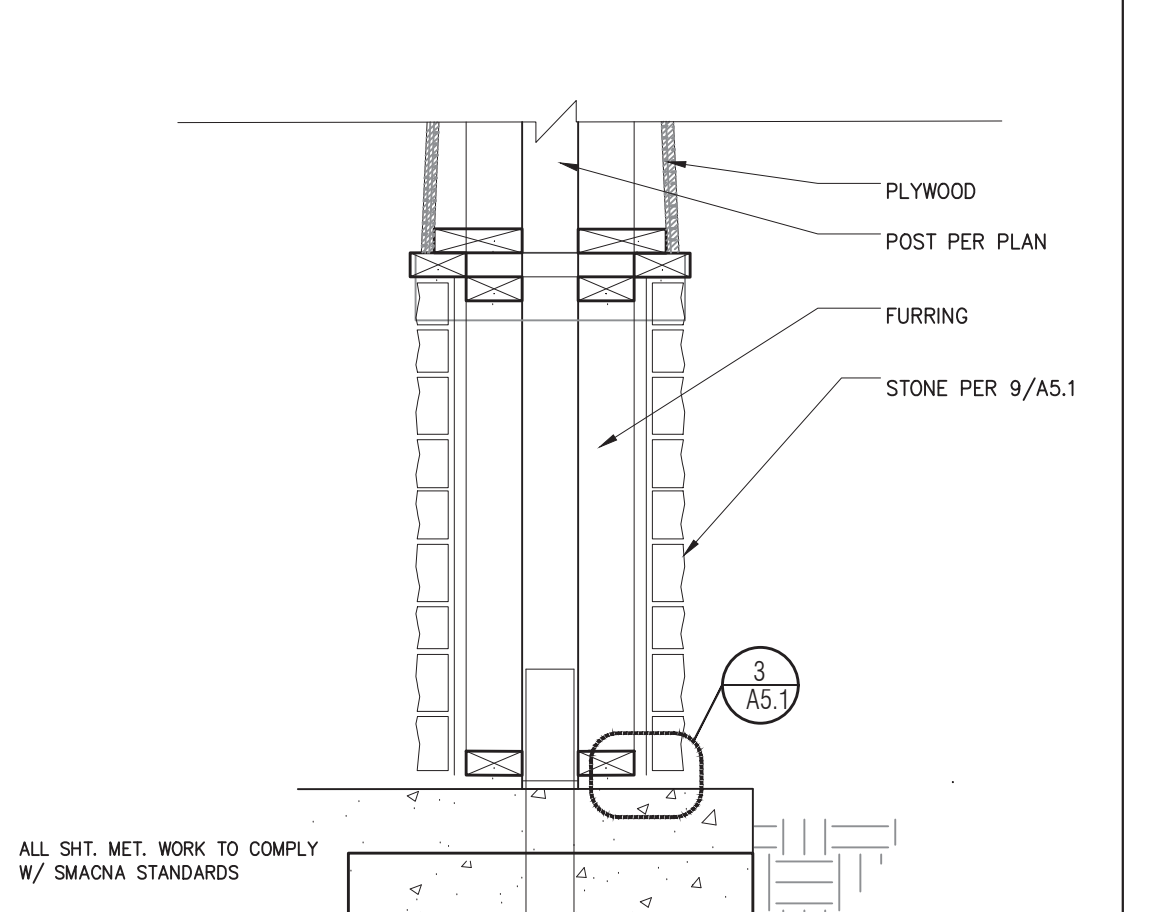
11 INSULATION AT UNVENTED ROOF ASSEMBLY-OVER/UNDER SCALE: 1"=1'-0"



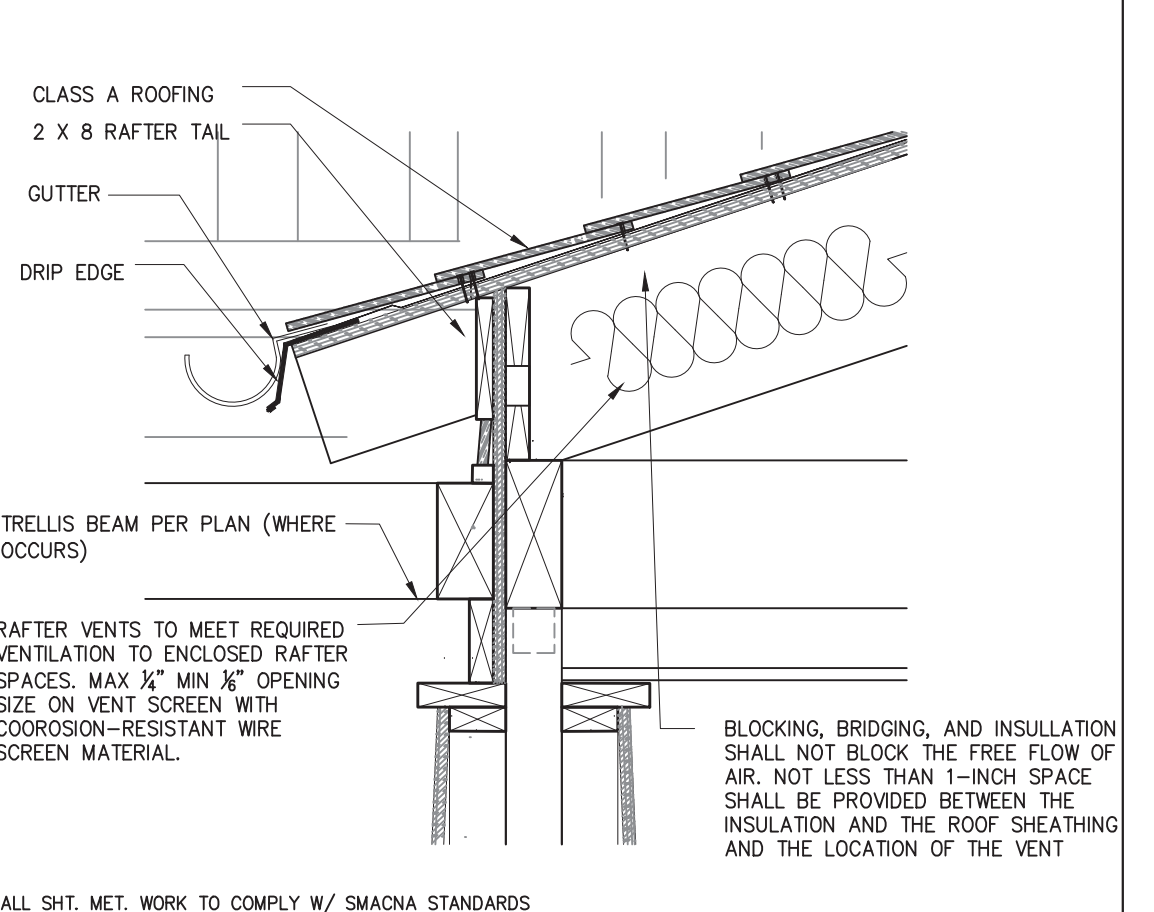
5 EAVE DETAIL WITH VENTING/TRELLIS - CRAFTSMAN SCALE: 1"=1'-0"



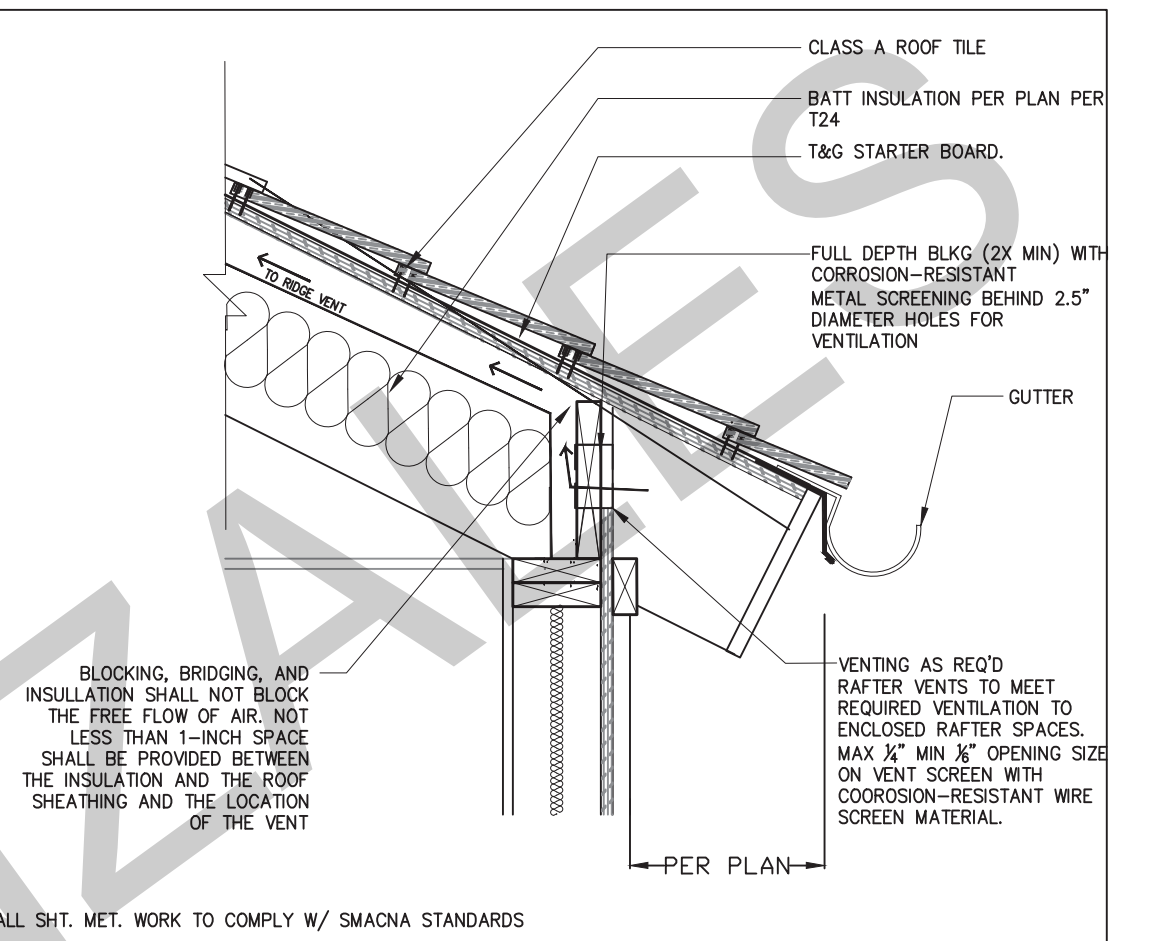
6 RIDGE BEAM/ROOF OVERHANG/ COL CRAFTSMAN/MIDCENTURY/RANCH SCALE: 1"=1'-0"



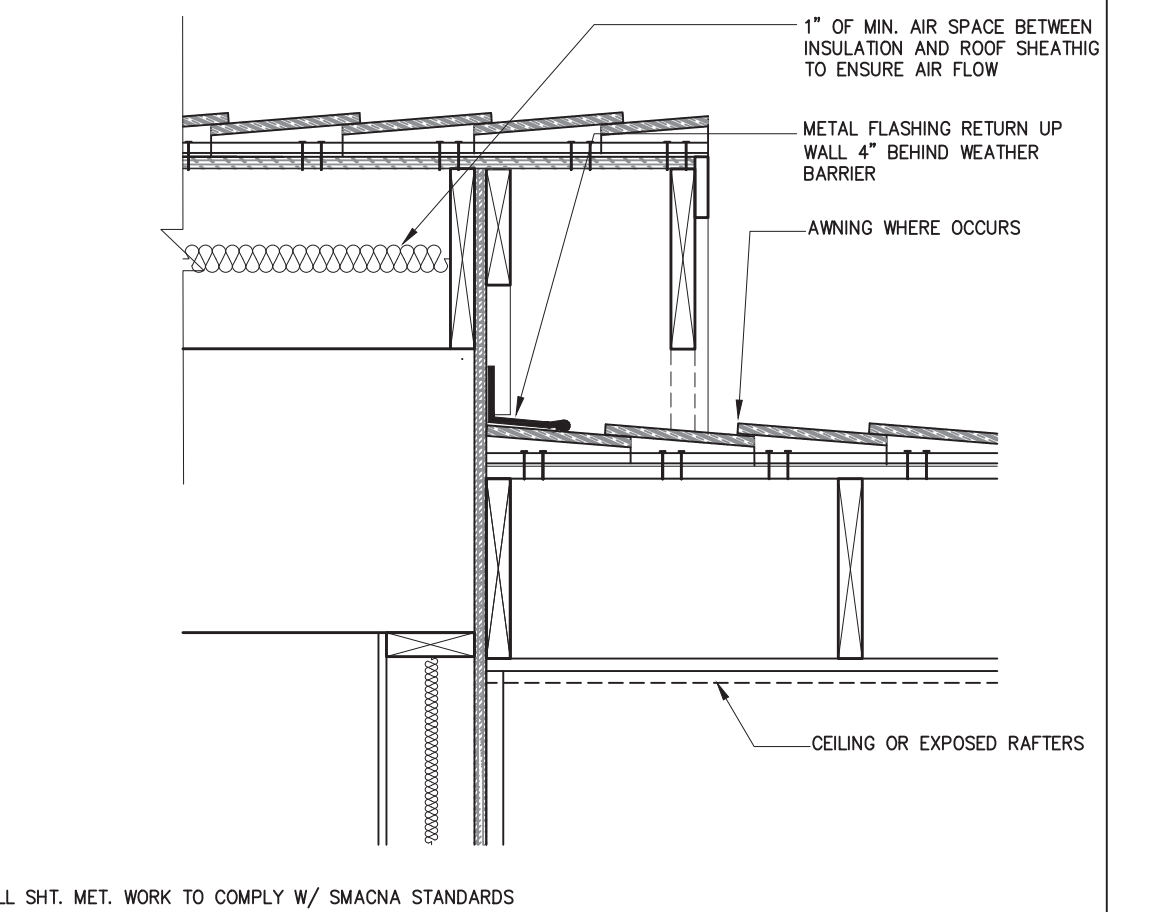
6B RIDGE BEAM/OVERHANG/COLUMN - CRAFTSMAN SCALE: 1"=1'-0"



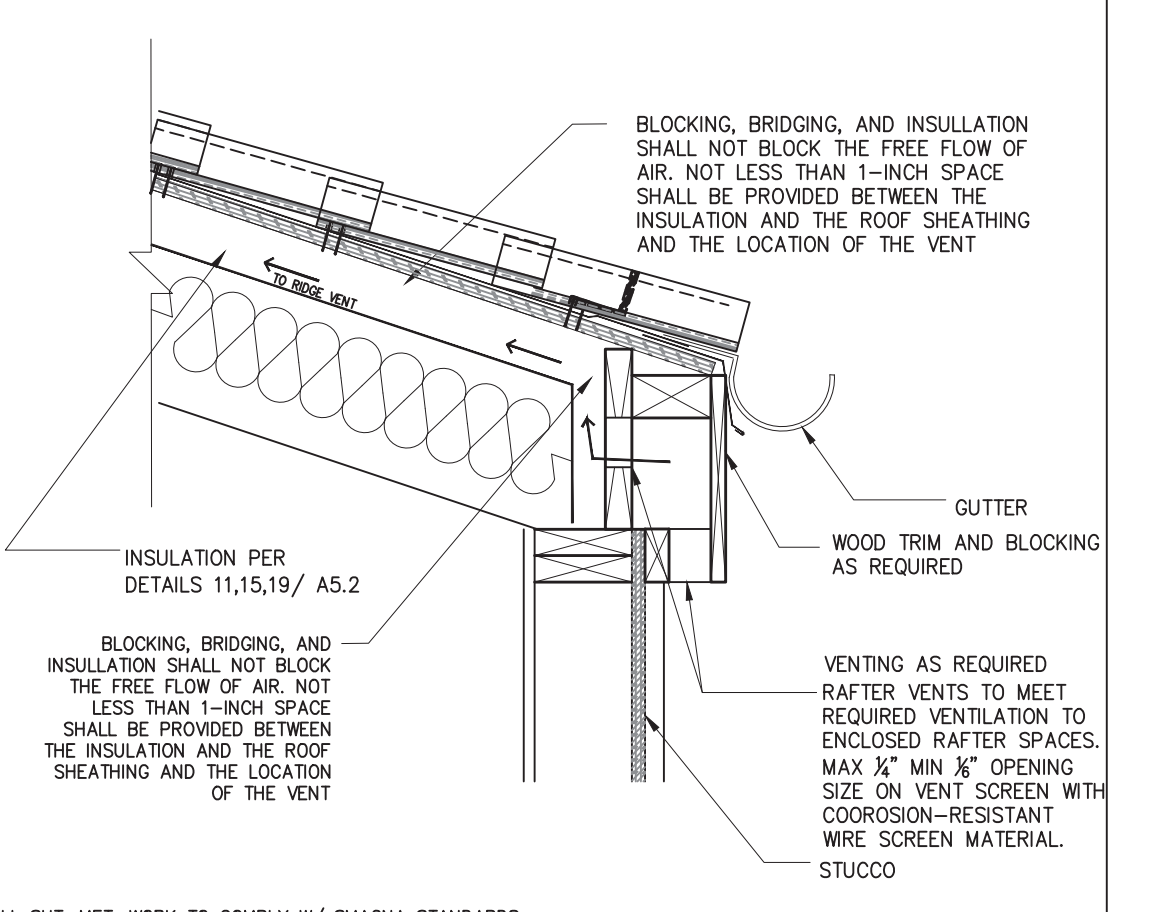
7 RAFTERS & TRELLIS TO CRAFTSMAN PORCH COLUMN SCALE: 1"=1'-0"



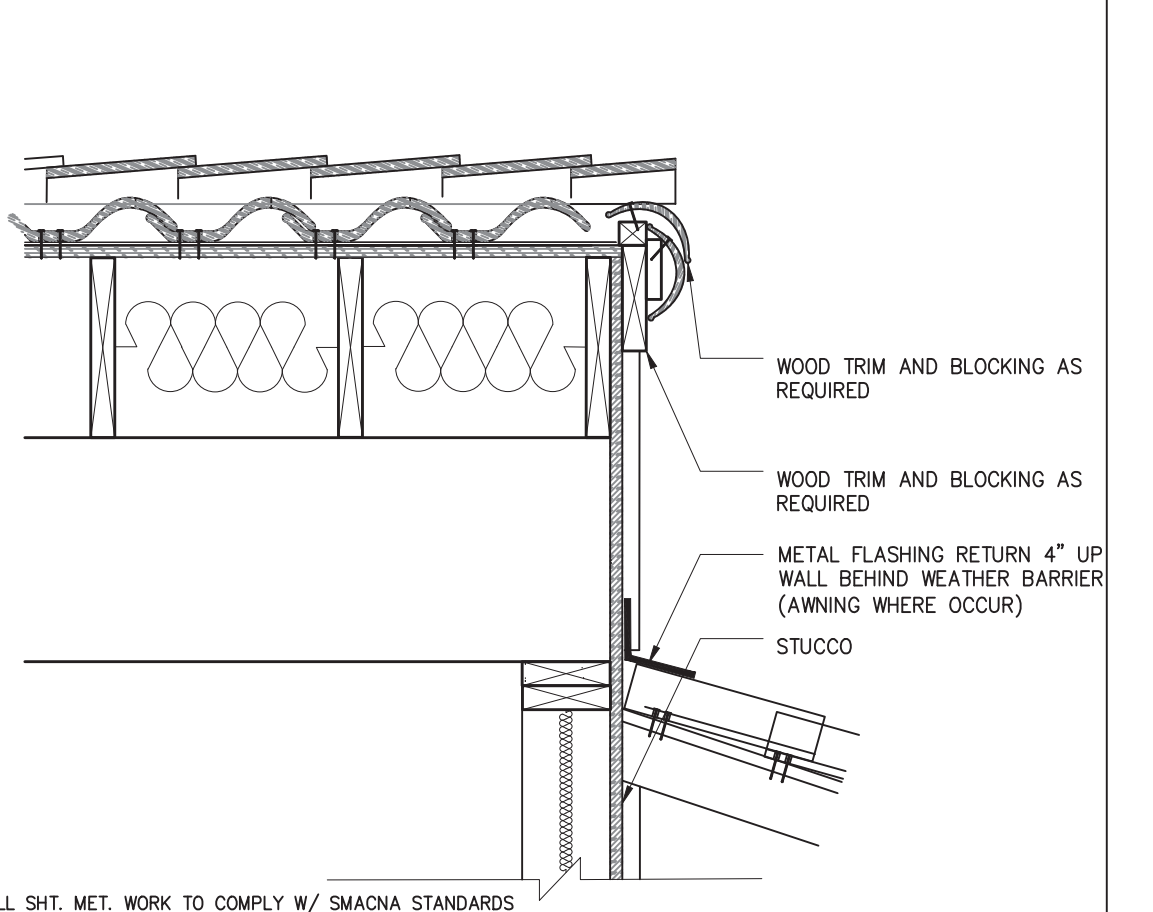
1 EAVE DETAIL WITH VENTING - RANCH/CRAFTSMAN SCALE: 1"=1'-0"



2 GABLE DETAIL AND AWNING (WHERE OCCURS) RANCH/CRAFTSMAN SCALE: 1"=1'-0"



3 RAFTER EAVE WITH VENTING (SPANISH) SCALE: 1"=1'-0"

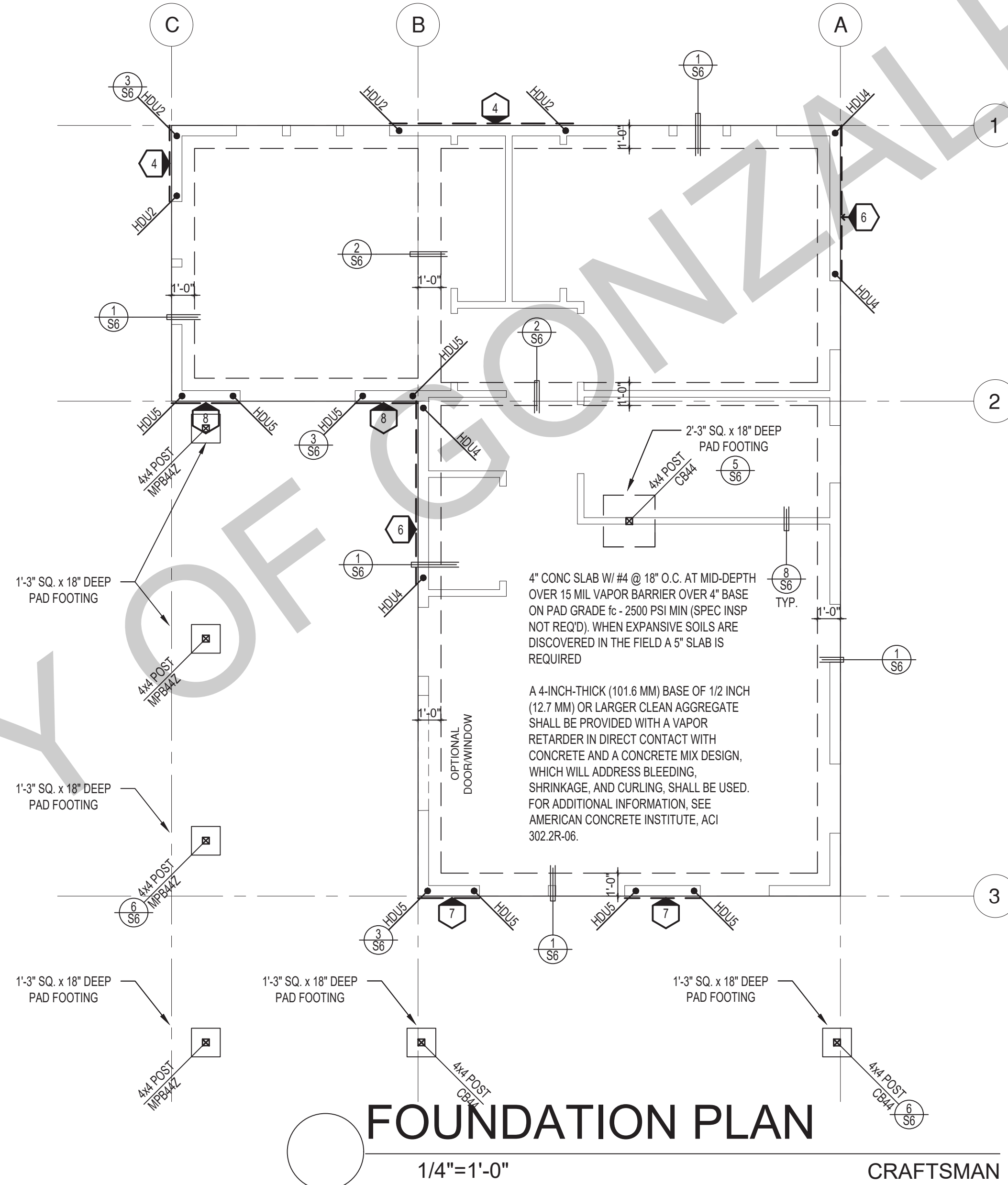
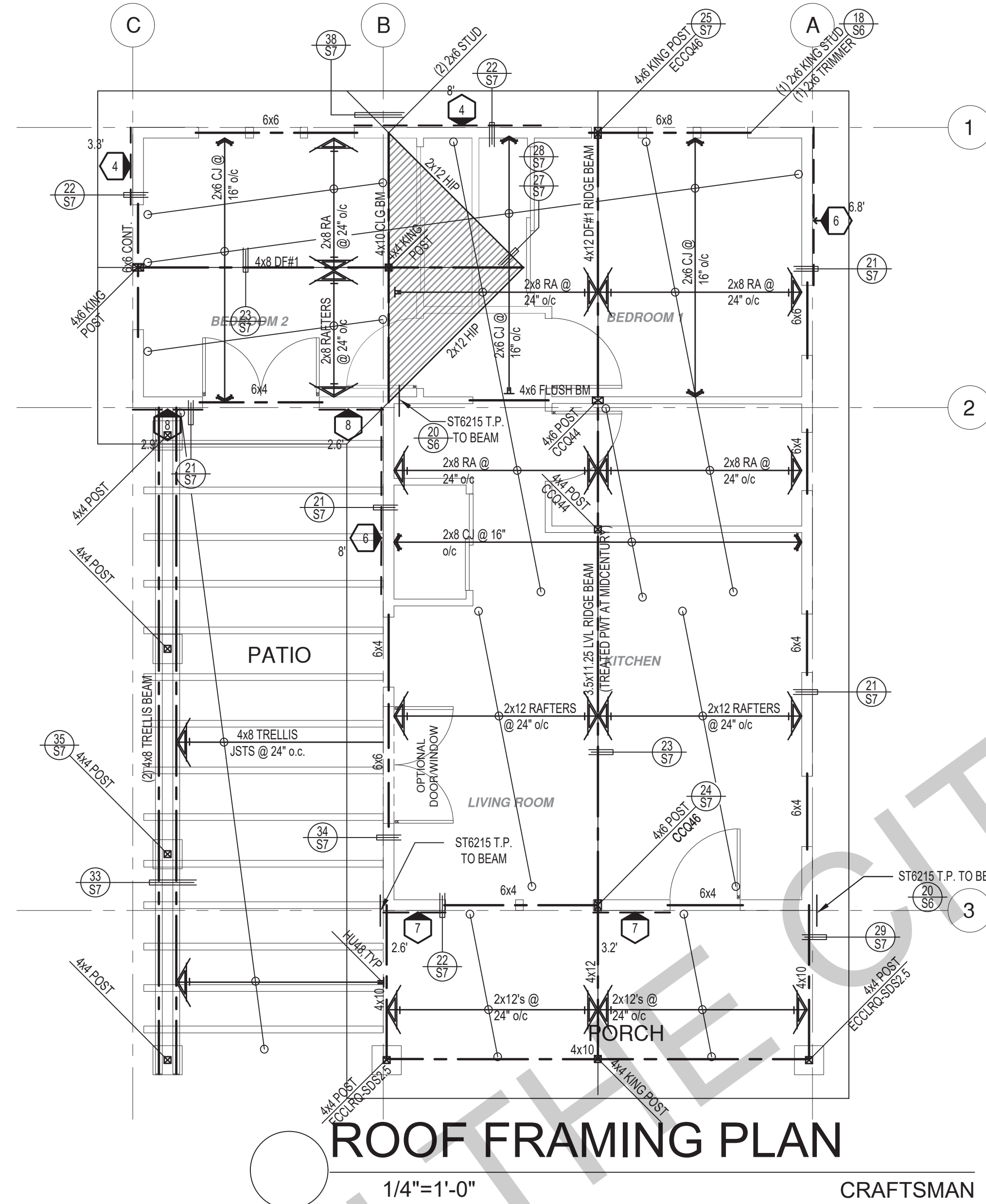


4 GABLE END AT EXTERIOR WALL (SPANISH) SCALE: 1"=1'-0"

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ROOF FRAMING PLAN

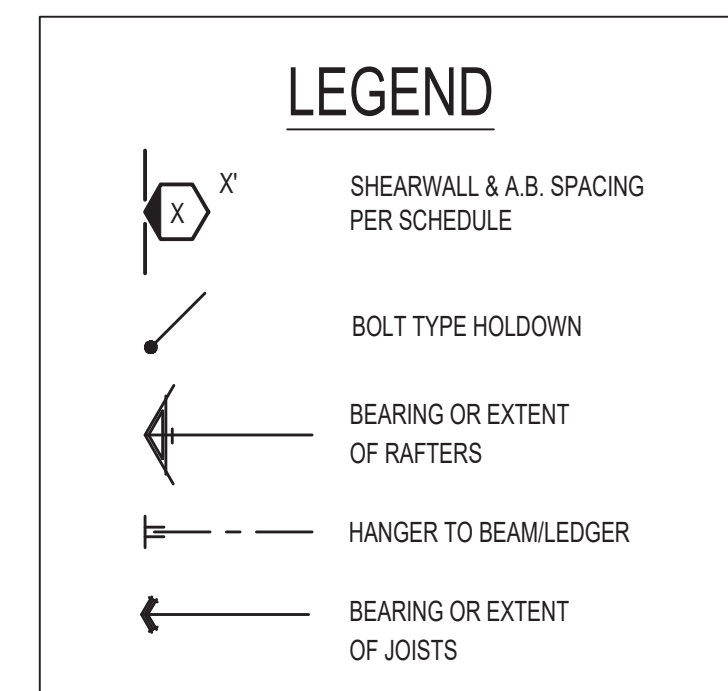
FOUNDATION PLAN

SHEAR WALL SCHEDULE (ASD VALUES)

**FOUNDATION NOTES**

1. ALL ANCHOR BOLTS, HOLDOWN ANCHORS, & REINF. MUST BE SECURELY TIED IN PLACE PRIOR TO FDTN. INSP.
2. ALL EXTERIOR STUDS TO BE 2x6 @ 16" O.C.
3. THE MINIMUM NOMINAL ANCHOR BOLT DIAMETER SHALL BE 1/2" INCH NOTE: THIS WILL REQUIRE A MINIMUM DISTANCE FROM THE ENDS OF SILL PLATES TO BE 4" (AND A MAXIMUM OF 12")
4. PLATE WASHERS (MINIMUM SIZE OF 3" x 3" x 1/4") SHALL BE USED ON EACH ANCHOR BOLT.
5. PROVIDE CONC SLAB JOINTS AT NO MORE THAN 15 FT EA. WAY
6. SEE SHT S6 FOR TYP. CONCRETE & SLAB DETAILS 1-8
7. POSTS W/O SPECIFIED BASE SHALL BE NAILED TO BOLTED SILL PLATES W/ (2) 16d T.N. EA. SIDE, TYP.
8. FOOTINGS ADJACENT TO SLOPES GREATER THAN OR EQUAL TO 33.3% SHALL COMPLY WITH SETBACK REQUIREMENTS DEFINED IN CBC 1808.7.

	4	5	6	7	8	9
SHEARWALL DESCRIPTION (See footnotes 1 & 4)	3/4" ply, C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnote 3)	3/4" ply, C-D or C-C sheathing, (1) side w/ 8d @ 4" o/c edge, 12" o/c field, blocked (See footnote 3)	3/4" ply, C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4)	3/4" rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4)	1/2" rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5)	1/2" rated STRUCT 1 panel, (1) side w/ 10d @ 2" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5)
SHEAR VALUE (PLF)	260*	380*	490*	550*	665*	870*
ANCHOR BOLT SPACING	3/4" @ 48" or 1/2" @ 32"	3/8" @ 32" or 1/2" @ 24"	3/8" @ 24" or 1/2" @ 16"	3/8" @ 24" or 1/2" @ 16"	3/8" @ 16" or 1/2" @ 24"	3/8" @ 12" or 1/2" @ 8"
16d (0.148") SILL NAILING	6"	4"	3 1/2"	3"	1/2" x 4 1/2" SDS screws @ 8"	1/2" x 4 1/2" SDS screws @ 8"
SPACING OF A35LTP4 FRAMING TO TOP PLATE	32" O.C.	18" O.C.	12" O.C.	12" O.C.	8" O.C.	8" O.C.

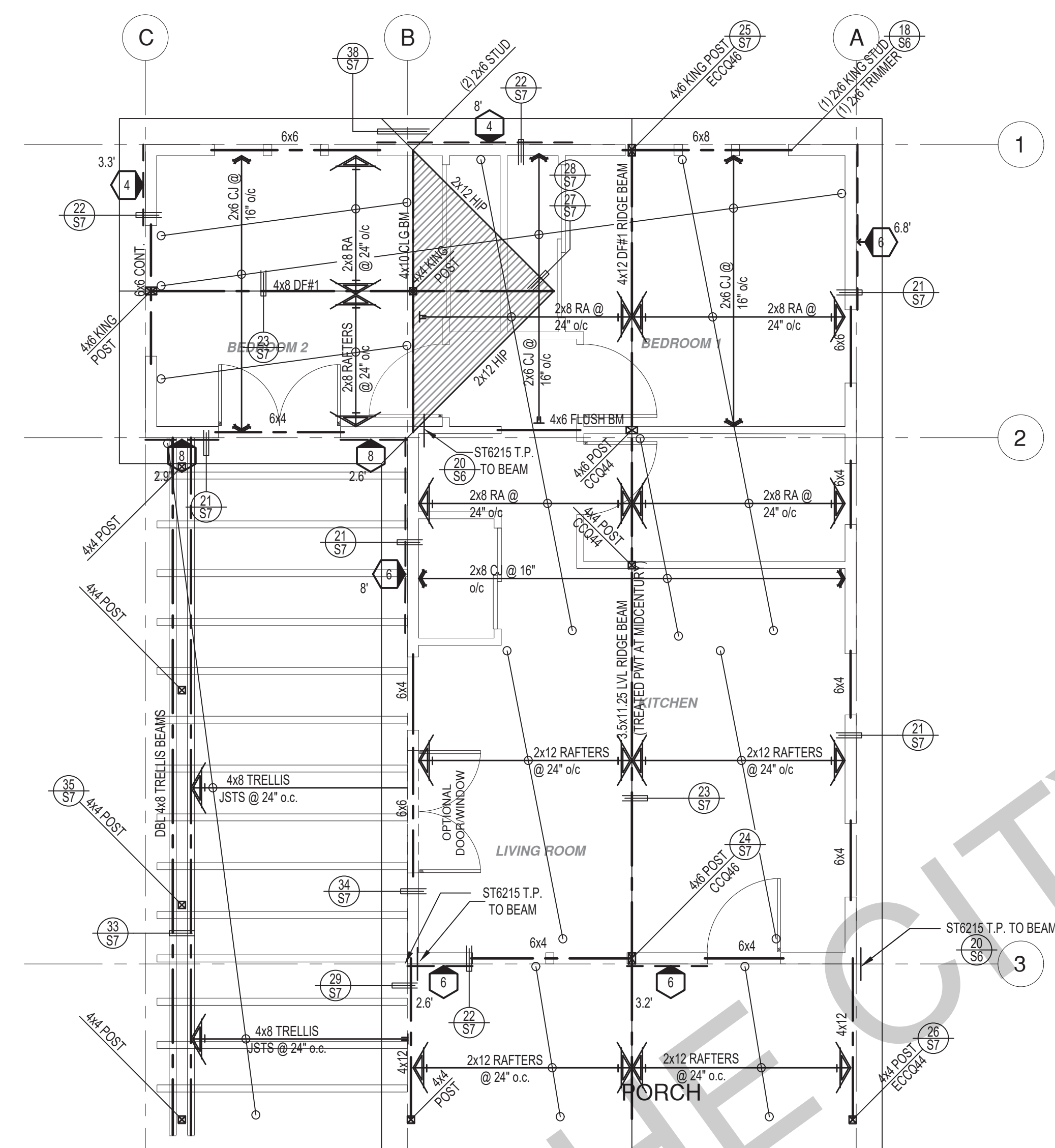


- SHEAR WALL FOOTNOTES**
- (1) AT PLYWOOD OR OSB PS-1 OR PS-2 RATED PANELS USE COMMON NAILS OR GALVANIZED BOX NAILS (2) LAYERS OF PAPER EXTERIOR PLYWOOD REQUIRED. SHEARWALLS SHALL BE APPLIED OVER STUDS @ 16" O/C. GALVANIZED NAILS SHALL NOT BE HOT-DIPPED OR TUMBLED.
  - (2) SILL PLATES & WASHERS SHALL COMPLY WITH THE CONCRETE FOUNDATION CONSTRUCTION AND WOOD FRAMING CONSTRUCTION NOTES. (SEE NOTES #206, 208, 209, 307, 308, 309, ETC.)
  - (3) IN PLYWOOD SHEARWALLS, THE EDGE OF THE 3" SQUARE WASHERS (SEE NOTE #206) SHALL BE 1/2" OR LESS FROM THE EDGE OF THE SILL PLATE ON THE SIDE OF THE SHEATHING. ALL NAILING SHALL BE 3/8" MIN. FROM THE EDGE OF SHEATHING.
  - (4) WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF (SHEARWALL TYPES 6, 7, 8, & 9) ALL FRAMING RECEIVING NAILING FROM ABUTTING PANEL EDGES SHALL NOT BE LESS THAN A SINGLE 3" NOMINAL MEMBER OR (2) 2X MEMBERS NAILED WITH 10D, SPACING EQUAL TO THE E.N. SPACING. PLYWOOD JOINT AND SILL NAILING SHALL BE STAGGERED.
  - (5) IN SHEARWALL TYPES 8 & 9, SILL PLATE NAILING SHALL BE STAGGERED. AT SECOND FLOOR CONDITIONS, PROVIDE ADEQUATE RIM OR BLOCKING TO PREVENT SPLITTING.
  - (\*) ALLOWABLE SHEAR VALUES FOR PLYWOOD SHEARWALLS MAY BE INCREASED BY 40% UNDER WIND LOADING.

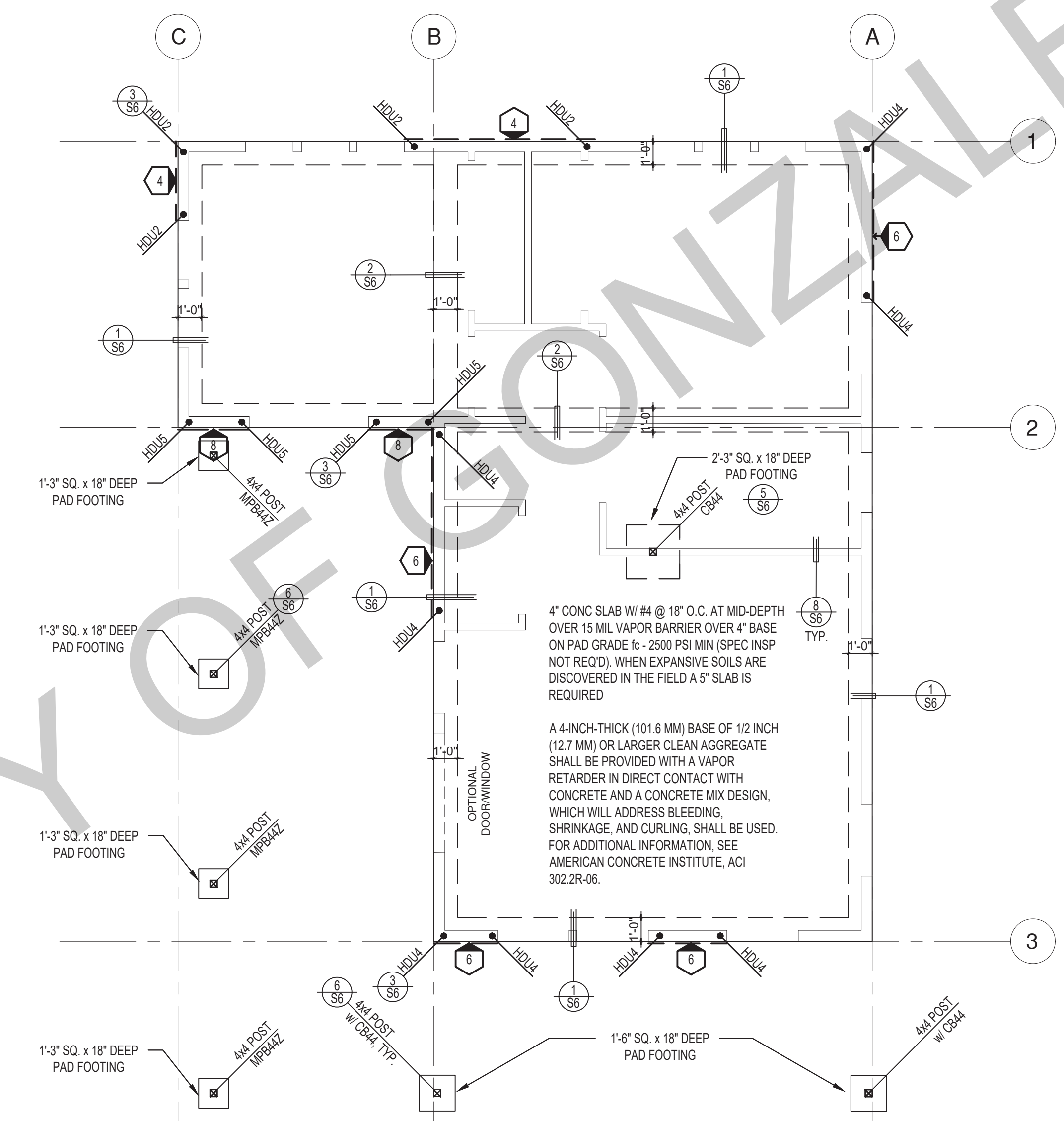
project  
City of Gonzales  
Pre-Approved ADU  
Plans

revisions  
description  
**Foundation & Framing Craftsman**

date September 2023  
project no.  
drawn by DESIGN PATH STUDIO  
sheet no. **S2**



**ROOF FRAMING PLAN**  
1/4"=1'-0" MIDCENTURY



**FOUNDATION PLAN**  
1/4"=1'-0" MIDCENTURY

**SHEAR WALL SCHEDULE (ASD VALUES)**

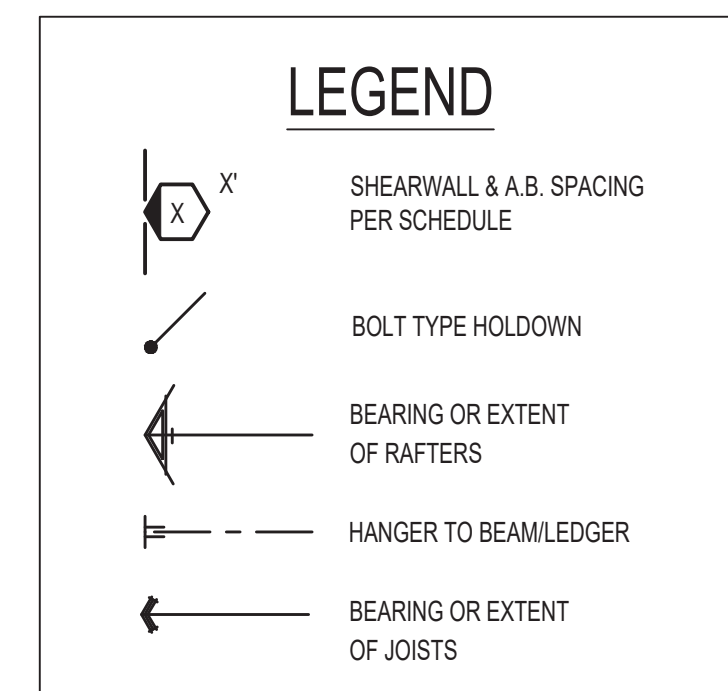
	4	5	6	7	8	9
SHEARWALL DESCRIPTION (See footnotes 1 & 4)	3/4" ply, C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnote 3)	3/4" ply, C-D or C-C sheathing, (1) side w/ 8d @ 4" o/c edge, 12" o/c field, blocked (See footnote 3)	3/4" ply, C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4)	3/4" rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4)	1/2" rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5)	1/2" rated STRUCT 1 panel, (1) side w/ 10d @ 2" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5)
SHEAR VALUE (PLF)	260*	380*	490*	550*	665*	870*
ANCHOR BOLT SPACING	3/4" @ 48" or 1/2" @ 32"	3/8" @ 32" or 1/2" @ 24"	3/8" @ 24" or 1/2" @ 16"	3/8" @ 24" or 1/2" @ 16"	3/8" @ 16" or 1/2" @ 24"	3/8" @ 12" or 1/2" @ 8"
16d (0.148") SILL NAILING	6"	4"	3 1/2"	3"	2 1/2" @ 8"	2 1/2" @ 8"
SPACING OF A35LTP4 FRAMING TO TOP PLATE	32" O.C.	18" O.C.	12" O.C.	12" O.C.	8" O.C.	8" O.C.

**SHEAR WALL FOOTNOTES**

- AT PLYWOOD OR OSB PS-1 OR PS-2 RATED PANELS USE COMMON NAILS OR GALVANIZED BOX NAILS (2) LAYERS OF PAPER EXTERIOR PLYWOOD REQUIRED. SHEARWALLS SHALL BE APPLIED OVER STUDS @ 16" O.C. GALVANIZED NAILS SHALL NOT BE HOT-DIPPED OR TUMBLED.
- SILL PLATES & WASHERS SHALL COMPLY WITH THE CONCRETE FOUNDATION CONSTRUCTION AND WOOD FRAMING CONSTRUCTION NOTES. (SEE NOTES #206, 208, 209, 307, 308, 309, ETC.)
- IN PLYWOOD SHEARWALLS, THE EDGE OF THE 3" SQUARE WASHERS (SEE NOTE #206) SHALL BE 1/2" OR LESS FROM THE EDGE OF THE SILL PLATE ON THE SIDE OF THE SHEATHING. ALL NAILING SHALL BE 3/8" MIN. FROM THE EDGE OF SHEATHING.
- WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF (SHEARWALL TYPES 6, 7, 8, & 9) ALL FRAMING RECEIVING NAILING FROM ABUTTING PANEL EDGES SHALL NOT BE LESS THAN A SINGLE 3" NOMINAL MEMBER OR (2) 2X MEMBERS NAILED WITH 10D, SPACING EQUAL TO THE E.N. SPACING. PLYWOOD JOINT AND SILL NAILING SHALL BE STAGGERED.
- IN SHEARWALL TYPES 8 & 9, SILL PLATE NAILING SHALL BE STAGGERED. AT SECOND FLOOR CONDITIONS, PROVIDE ADEQUATE RIM OR BLOCKING TO PREVENT SPLITTING.
- ALLOWABLE SHEAR VALUES FOR PLYWOOD SHEARWALLS MAY BE INCREASED BY 40% UNDER WIND LOADING.

**FOUNDATION NOTES**

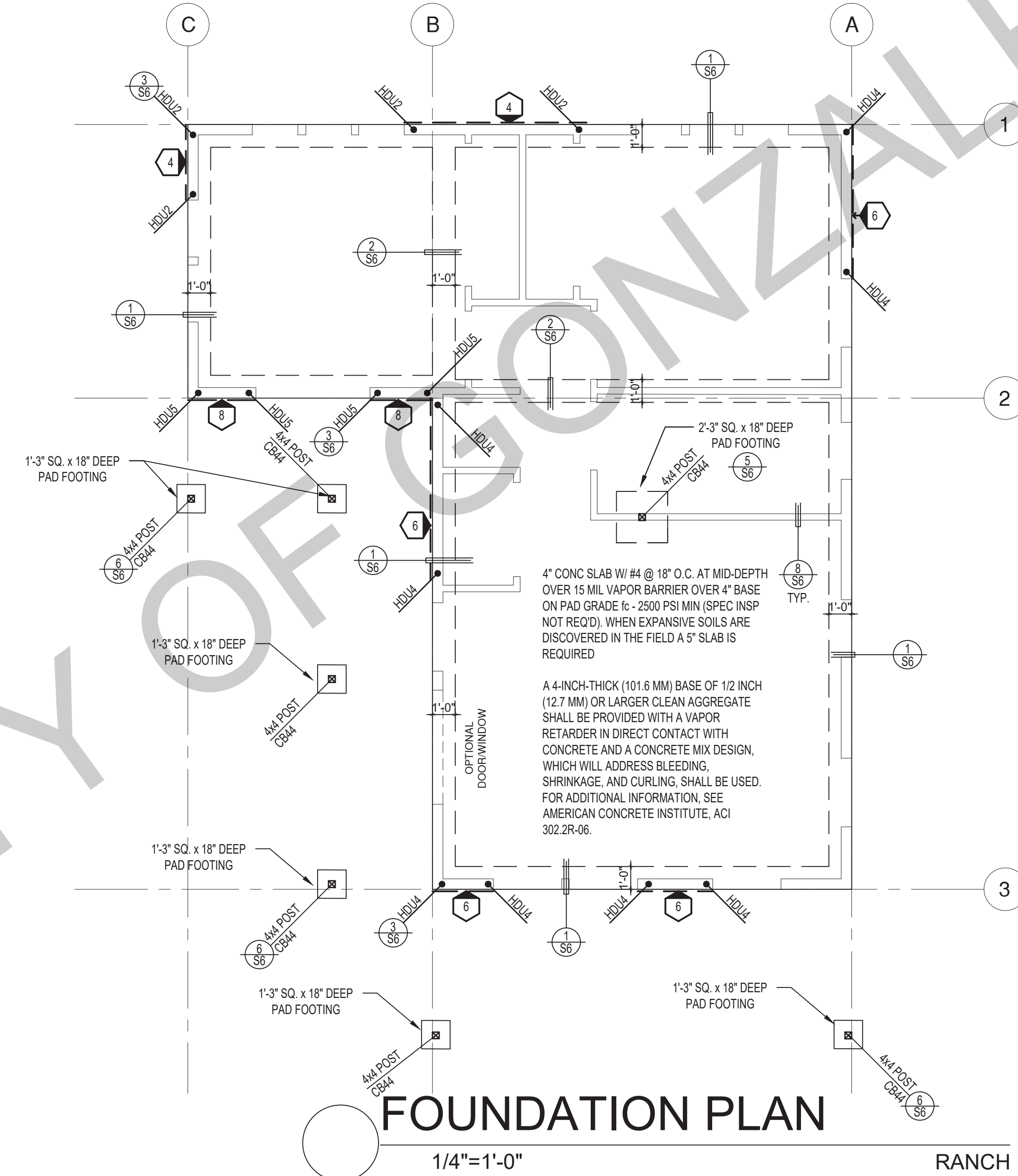
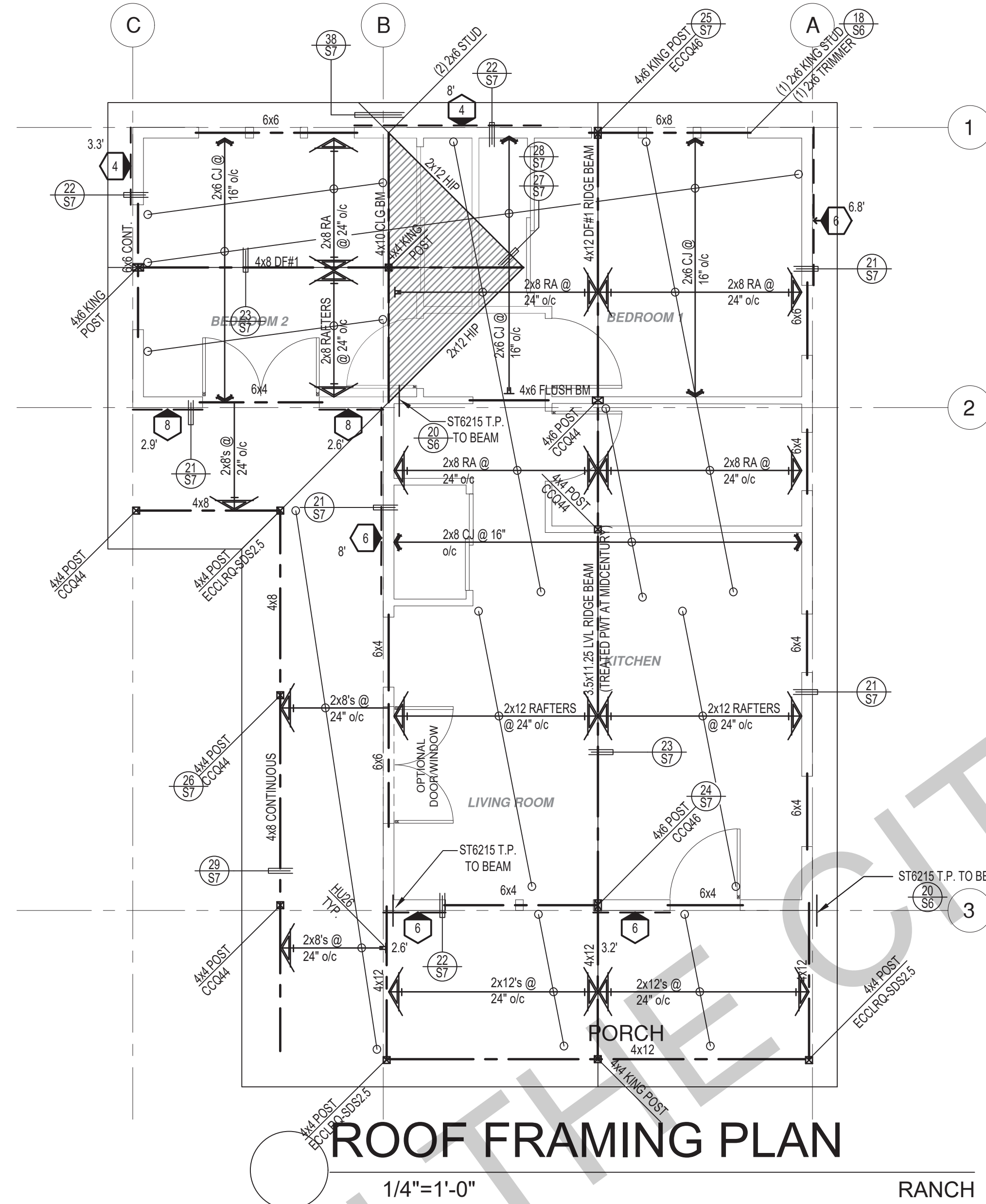
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- PLATE WASHERS (MINIMUM SIZE OF 3" x 3" x 1/4") SHALL BE USED ON EACH ANCHOR BOLT.
- PROVIDE CONC SLAB JOINTS AT NO MORE THAN 15 FT EA. WAY
- SEE SHT S6 FOR TYP. CONCRETE & SLAB DETAILS 1-8
- POSTS W/O SPECIFIED BASE SHALL BE NAILED TO BOLTED SILL PLATES W/ (2) 16d T.N. EA. SIDE, TYP.
- FOOTINGS ADJACENT TO SLOPES GREATER THAN OR EQUAL TO 33.3% SHALL COMPLY WITH SETBACK REQUIREMENTS DEFINED IN CBC 1808.7.



\* PLEASE REFER TO NOTES 311 & 401 FOR LUMBER GRADE SPECIFICATIONS.

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SHEAR WALL SCHEDULE (ASD VALUES)

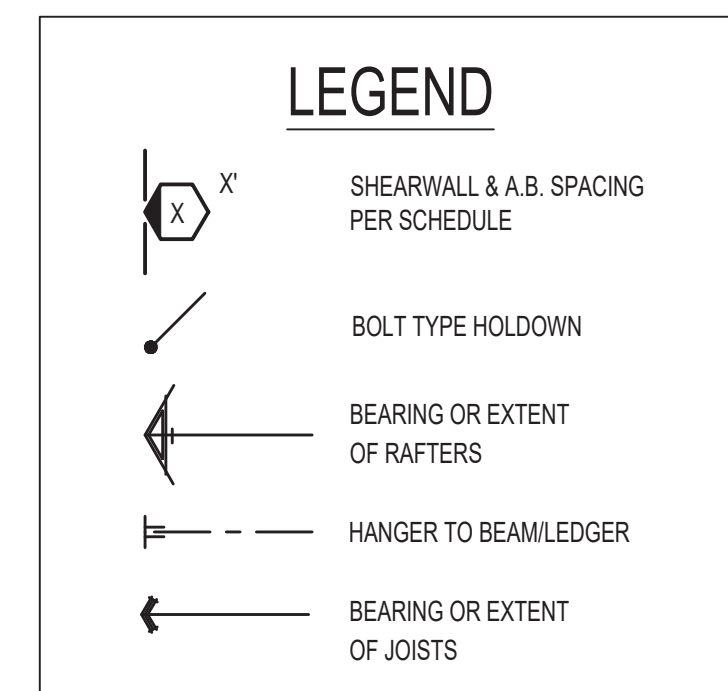
	4	5	6	7	8	9
SHEARWALL DESCRIPTION (See footnotes 1 & 4)	3/4" ply, C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnote 3)	3/4" ply, C-D or C-C sheathing, (1) side w/ 8d @ 4" o/c edge, 12" o/c field, blocked (See footnote 3)	3/4" ply, C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4)	3/4" rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4)	3/4" rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5)	3/4" rated STRUCT 1 panel, (1) side w/ 10d @ 2" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5)
SHEAR VALUE (PLF)	260*	380*	490*	550*	665*	870*
ANCHOR BOLT SPACING	3/4" @ 48" or 1/2" @ 32"	3/4" @ 32" or 1/2" @ 24"	3/4" @ 24" or 1/2" @ 16"	3/4" @ 24" or 1/2" @ 16"	3/4" @ 16" or 1/2" @ 24"	3/4" @ 12" or 1/2" @ 8"
16d (0.148") SILL NAILING	6"	4"	3 1/2"	3"	1 1/2" x 4 1/2" SDS screws @ 8"	1 1/2" x 4 1/2" SDS screws @ 8"
SPACING OF A35LTP4 FRAMING TO TOP PLATE	32" O.C.	18" O.C.	12" O.C.	12" O.C.	8" O.C.	8" O.C.

SHEAR WALL FOOTNOTES

- AT PLYWOOD OR OSB PS-1 OR PS-2 RATED PANELS USE COMMON NAILS OR GALVANIZED BOX NAILS (2) LAYERS OF PAPER EXTERIOR PLYWOOD REQUIRED. SHEARWALLS SHALL BE APPLIED OVER STUDS @ 16" O.C. GALVANIZED NAILS SHALL NOT BE HOT-DIPPED OR TUMBLED.
- SILL PLATES & WASHERS SHALL COMPLY WITH THE CONCRETE FOUNDATION CONSTRUCTION AND WOOD FRAMING CONSTRUCTION NOTES. (SEE NOTES #206, 208, 209, 307, 308, 309, ETC.)
- IN PLYWOOD SHEARWALLS, THE EDGE OF THE 3" SQUARE WASHERS (SEE NOTE #206) SHALL BE 1/2" OR LESS FROM THE EDGE OF THE SILL PLATE ON THE SIDE OF THE SHEATHING. ALL NAILING SHALL BE 3/8" MIN. FROM THE EDGE OF SHEATHING.
- WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF (SHEARWALL TYPES 6, 7, 8, & 9) ALL FRAMING RECEIVING NAILING FROM ABUTTING PANEL EDGES SHALL NOT BE LESS THAN A SINGLE 3" NOMINAL MEMBER OR (2) 2X MEMBERS NAILED WITH 10D, SPACING EQUAL TO THE E.N. SPACING. PLYWOOD JOINT AND SILL NAILING SHALL BE STAGGERED.
- IN SHEARWALL TYPES 8 & 9, SILL PLATE NAILING SHALL BE STAGGERED. AT SECOND FLOOR CONDITIONS, PROVIDE ADEQUATE RIM OR BLOCKING TO PREVENT SPLITTING.
- ALLOWABLE SHEAR VALUES FOR PLYWOOD SHEARWALLS MAY BE INCREASED BY 40% UNDER WIND LOADING.

**FOUNDATION NOTES**

- ALL ANCHOR BOLTS, HOLDOWN ANCHORS, & REINF. MUST BE SECURELY TIED IN PLACE PRIOR TO FDTN. INSP.
- ALL EXTERIOR STUDS TO BE 2x6 @ 16" O.C.
- THE MINIMUM NOMINAL ANCHOR BOLT DIAMETER SHALL BE 1/2" INCH NOTE: THIS WILL REQUIRE A MINIMUM DISTANCE FROM THE ENDS OF SILL PLATES TO BE 4" (AND A MAXIMUM OF 12")
- PLATE WASHERS (MINIMUM SIZE OF 3" x 3" x 1/4") SHALL BE USED ON EACH ANCHOR BOLT.
- PROVIDE CONC SLAB JOINTS AT NO MORE THAN 15 FT EA. WAY
- SEE SHT S6 FOR TYP. CONCRETE & SLAB DETAILS 1-8
- POSTS W/O SPECIFIED BASE SHALL BE NAILED TO BOLTED SILL PLATES W/ (2) 16d T.N. EA. SIDE, TYP.
- FOOTINGS ADJACENT TO SLOPES GREATER THAN OR EQUAL TO 33.3% SHALL COMPLY WITH SETBACK REQUIREMENTS DEFINED IN CBC 1808.7.



\* PLEASE REFER TO NOTES 311 & 401 FOR LUMBER GRADE SPECIFICATIONS.

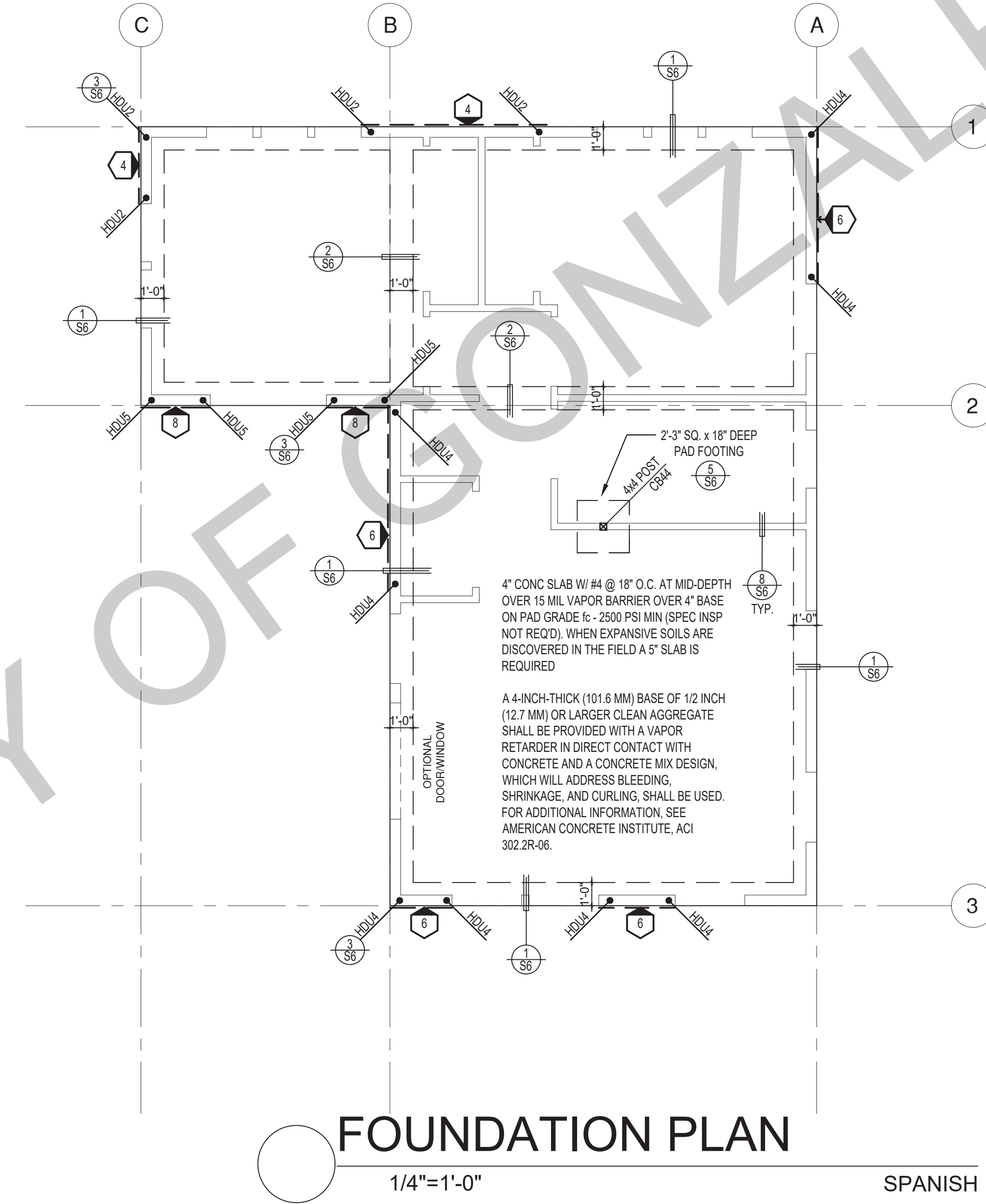
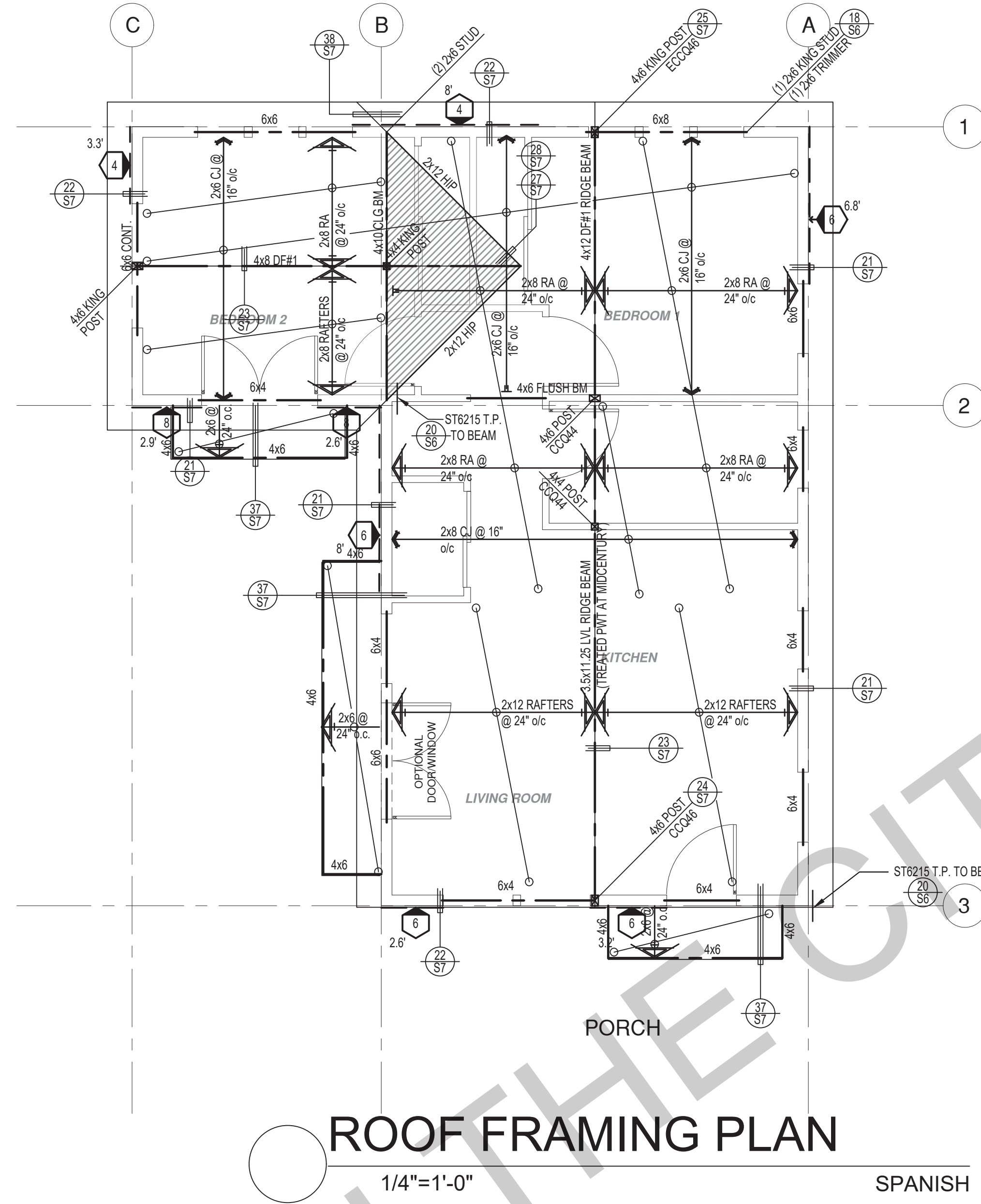
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project  
City of Gonzales  
Pre-Approved ADU  
Plans

revisions  
description  
**Foundation & Framing Ranch**

date September 2023  
project no.  
drawn by DESIGN PATH STUDIO  
sheet no. **S4**



ROOF FRAMING PLAN

FOUNDATION PLAN

SHEAR WALL SCHEDULE (ASD VALUES)

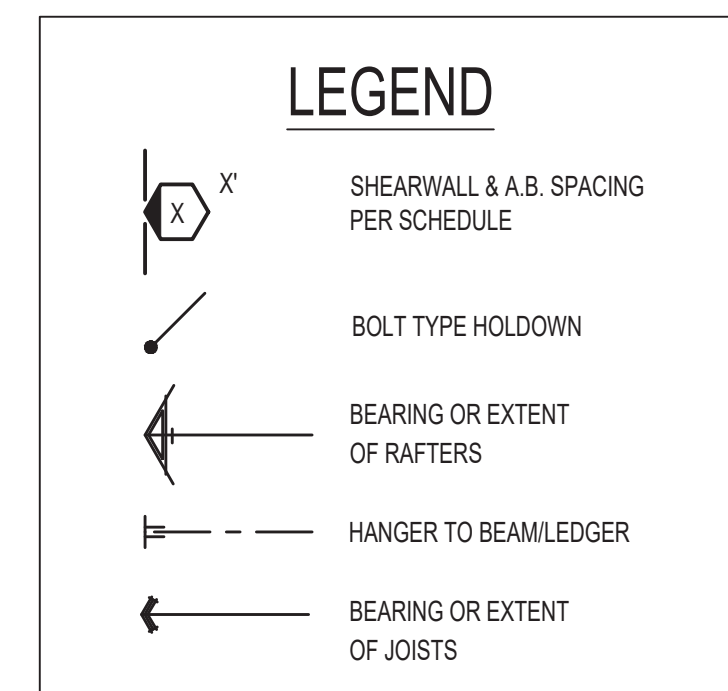
	4	5	6	7	8	9
SHEARWALL DESCRIPTION (See footnotes 1 & 4)	3/8" ply, C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnote 3)	3/8" ply, C-D or C-C sheathing, (1) side w/ 8d @ 4" o/c edge, 12" o/c field, blocked (See footnote 3)	3/8" ply, C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4)	3/8" rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4)	3/8" rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5)	3/8" rated STRUCT 1 panel, (1) side w/ 10d @ 2" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5)
SHEAR VALUE (PLF)	260*	380*	490*	550*	665*	870*
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16d (0.148") SILL NAILING	6"	4"	3 1/2"	3"		
SPACING OF A35LTP4 FRAMING TO TOP PLATE	32" O.C.	18" O.C.	12" O.C.	12" O.C.	8" O.C.	8" O.C.

SHEAR WALL FOOTNOTES

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- ALLOWABLE SHEAR VALUES FOR PLYWOOD SHEARWALLS MAY BE INCREASED BY 40% UNDER WIND LOADING.

**FOUNDATION NOTES**

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Pre-Approved ADU  
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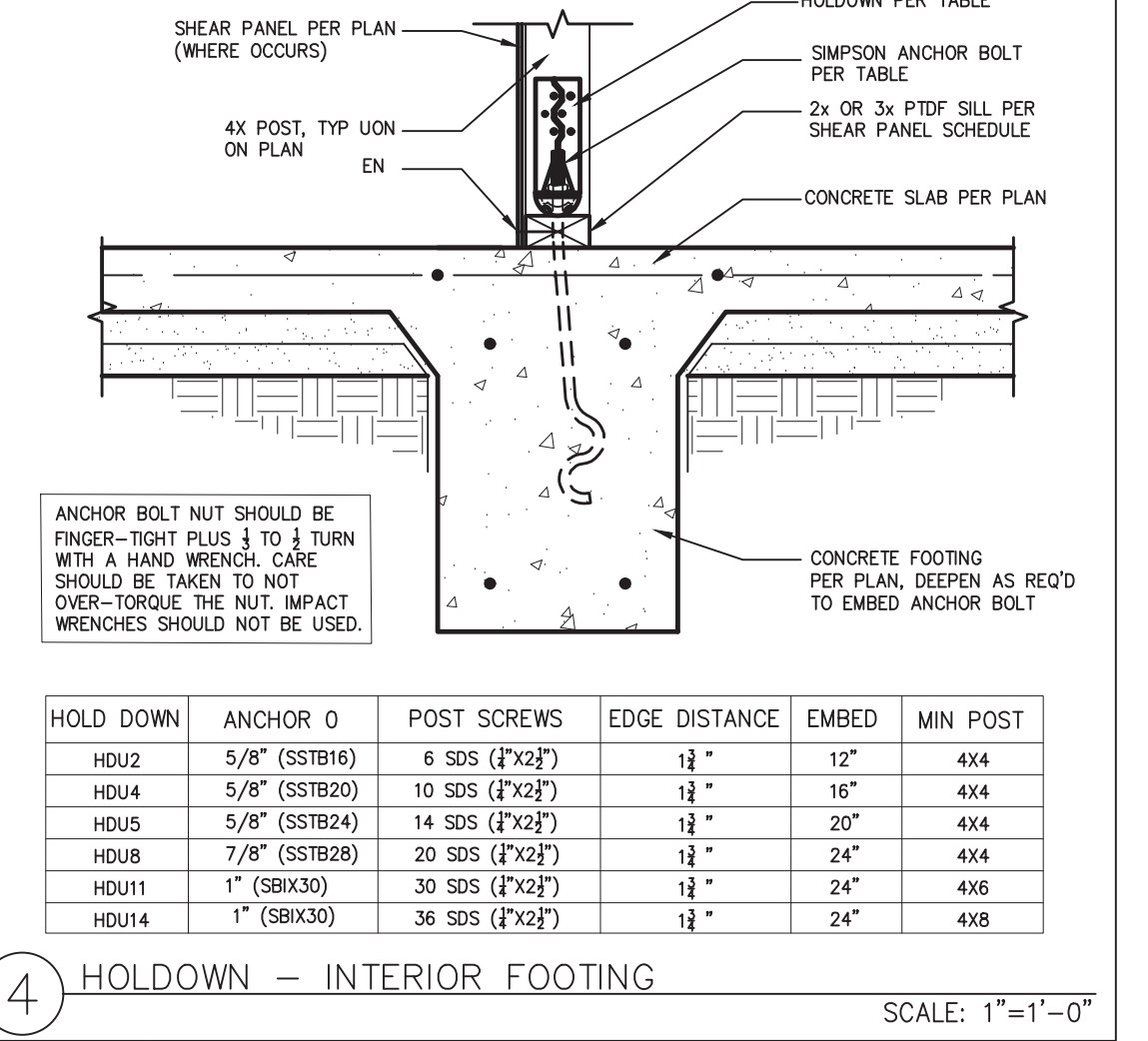
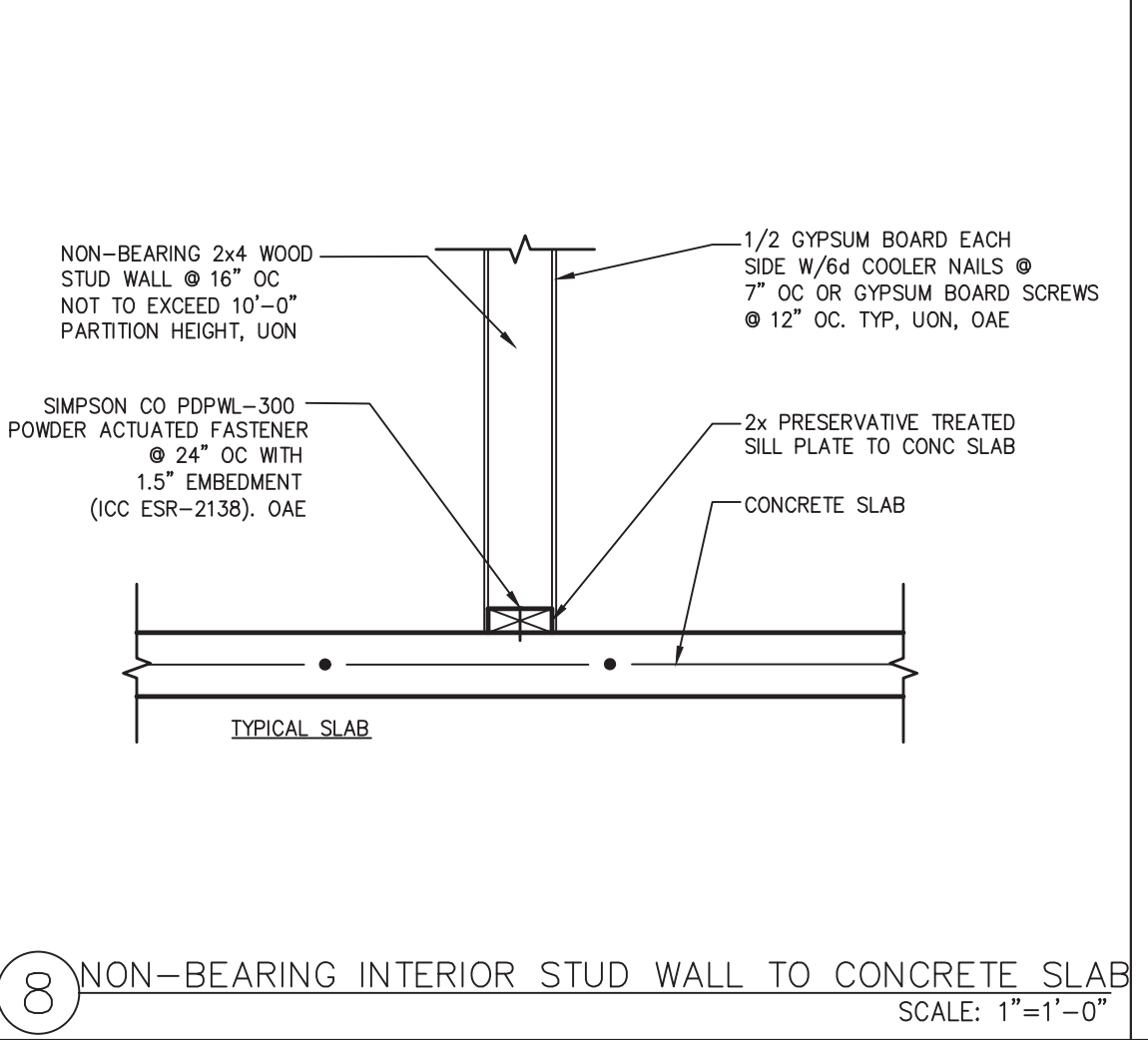
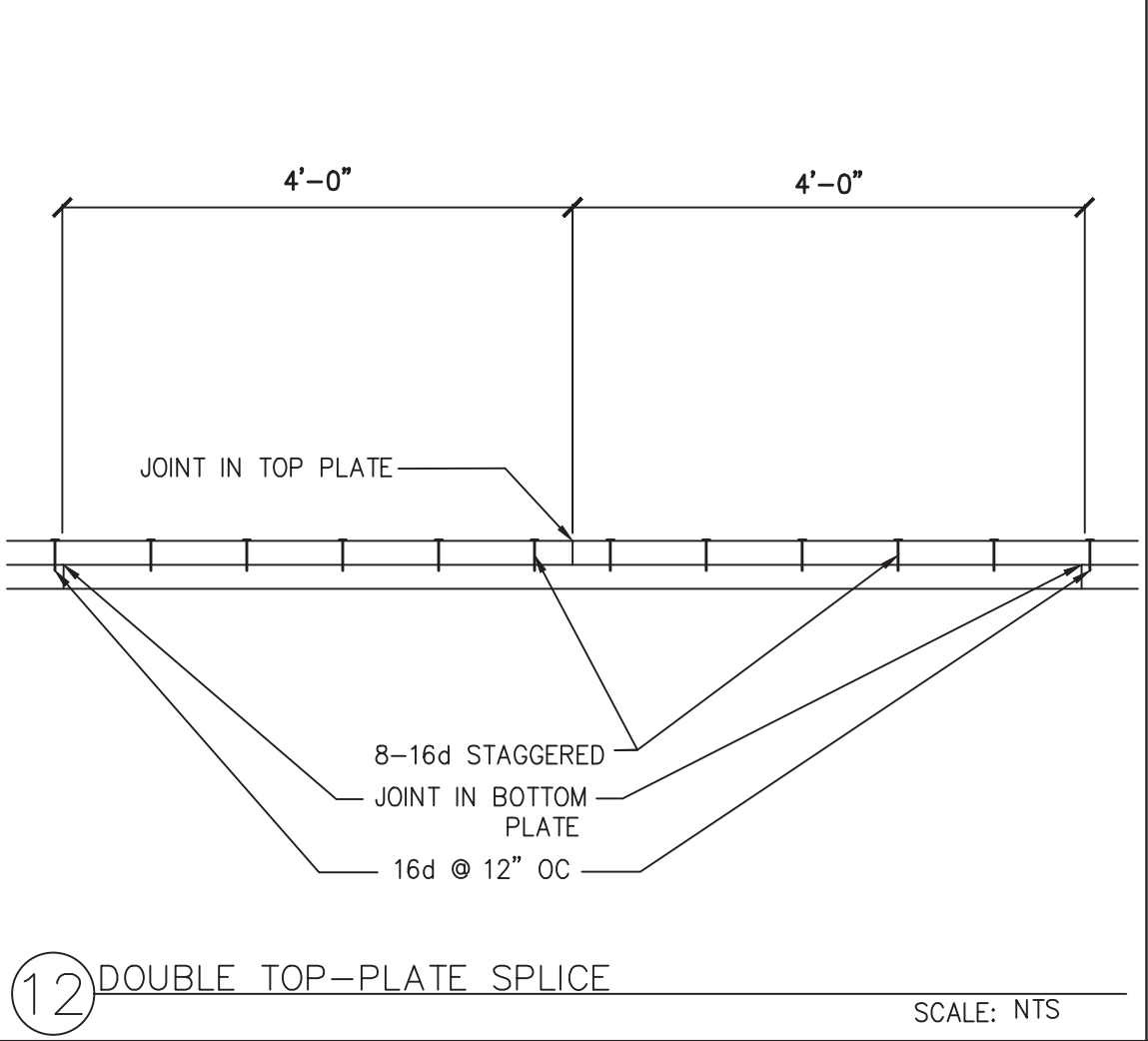
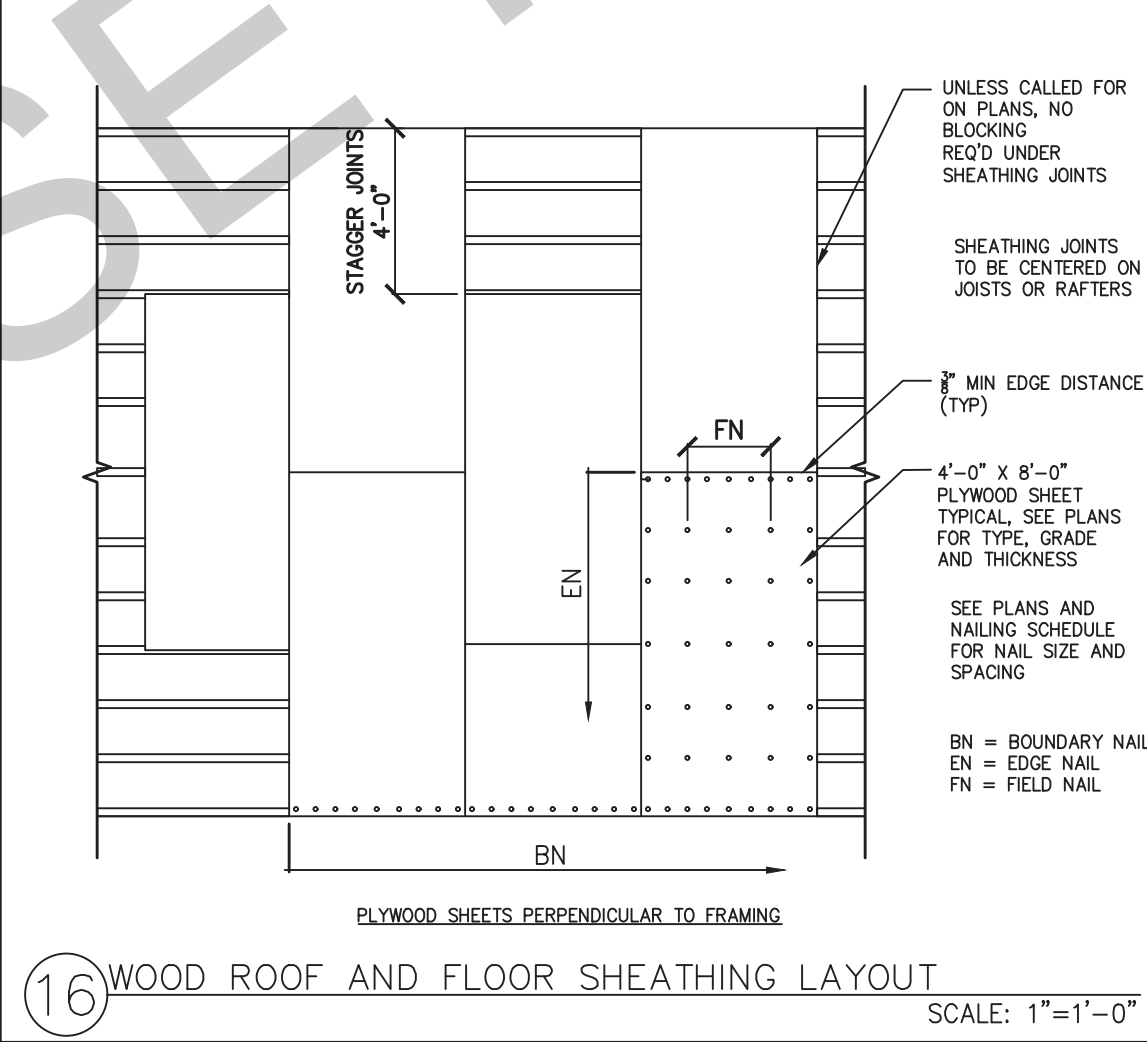
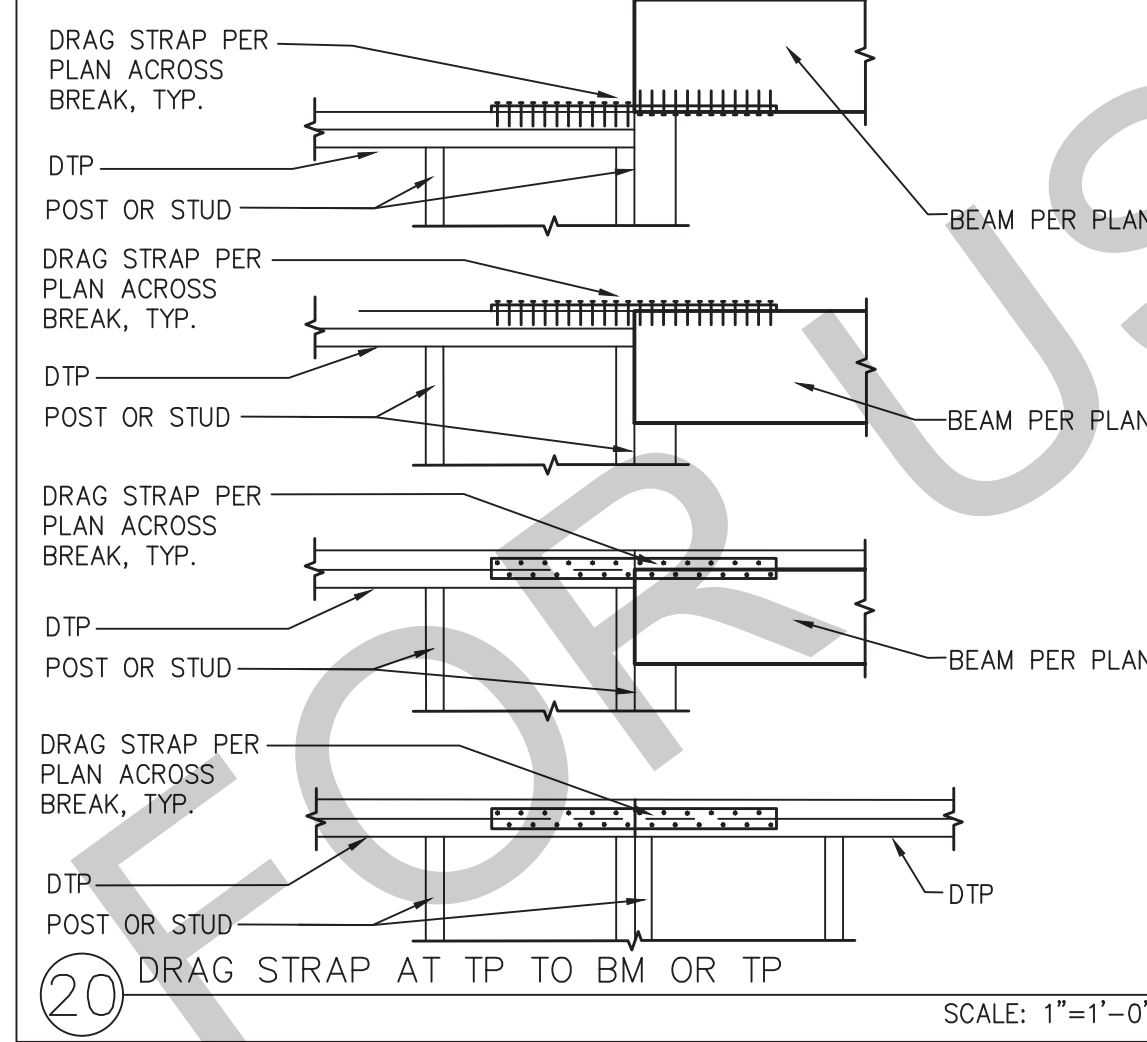
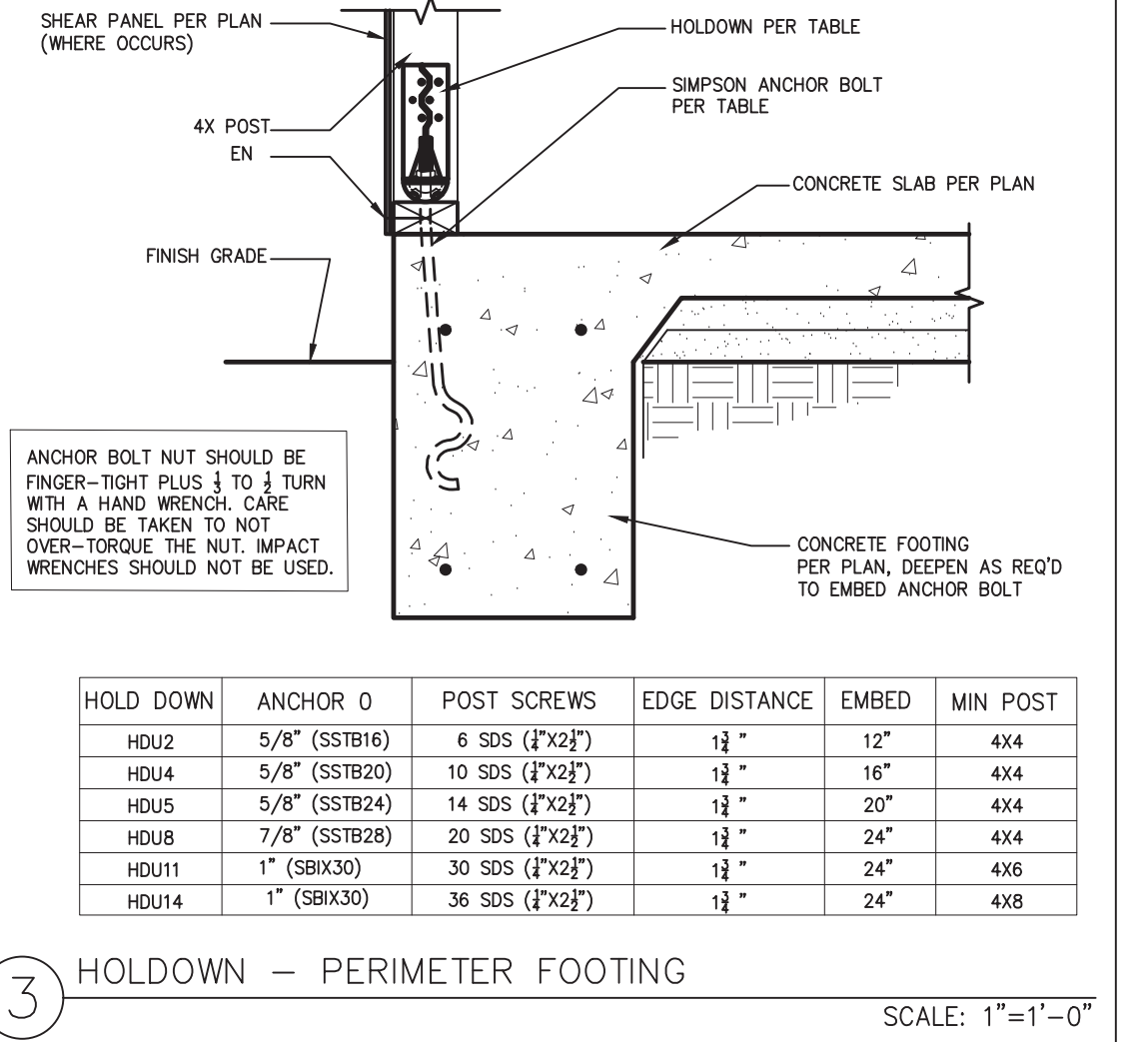
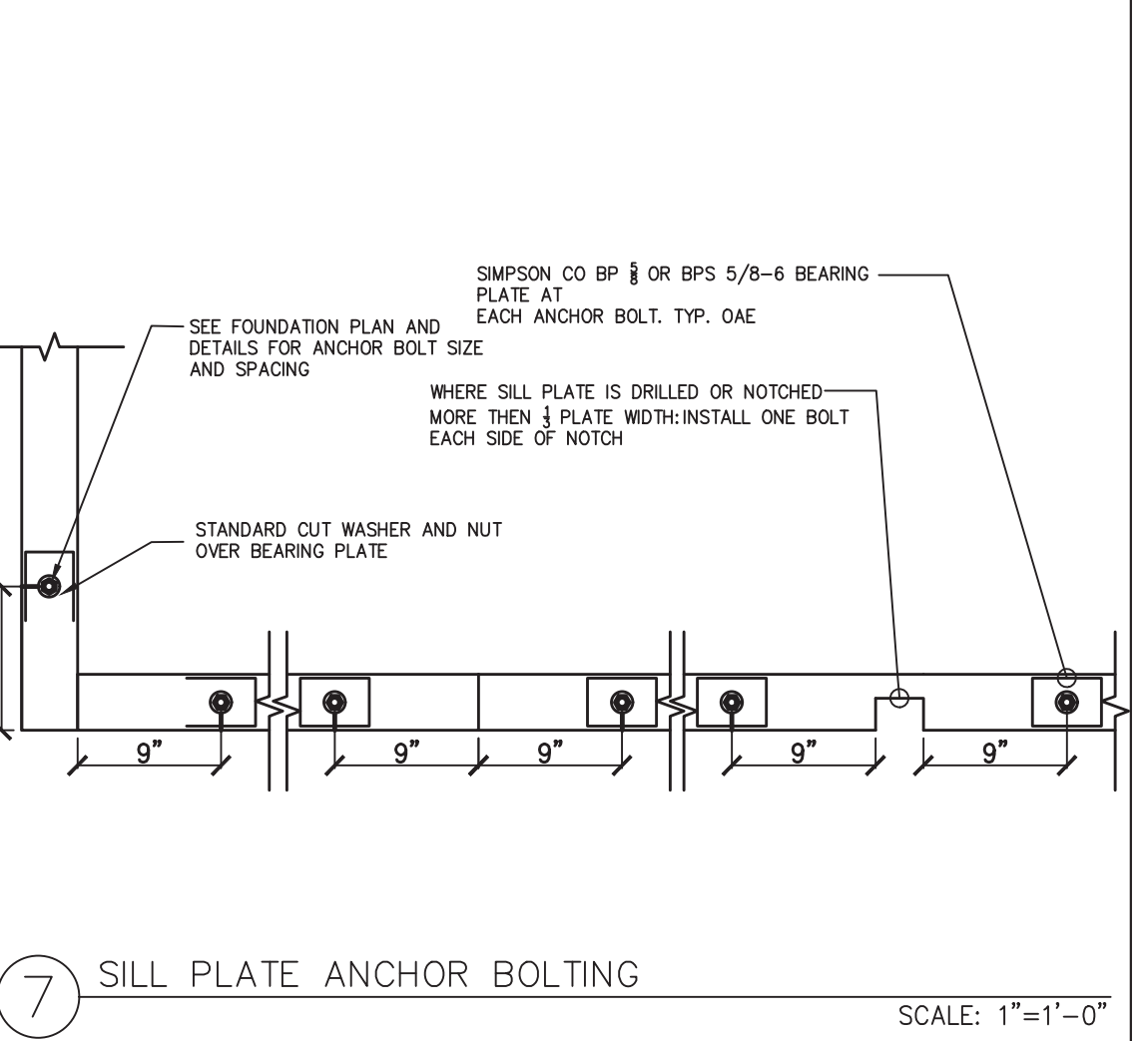
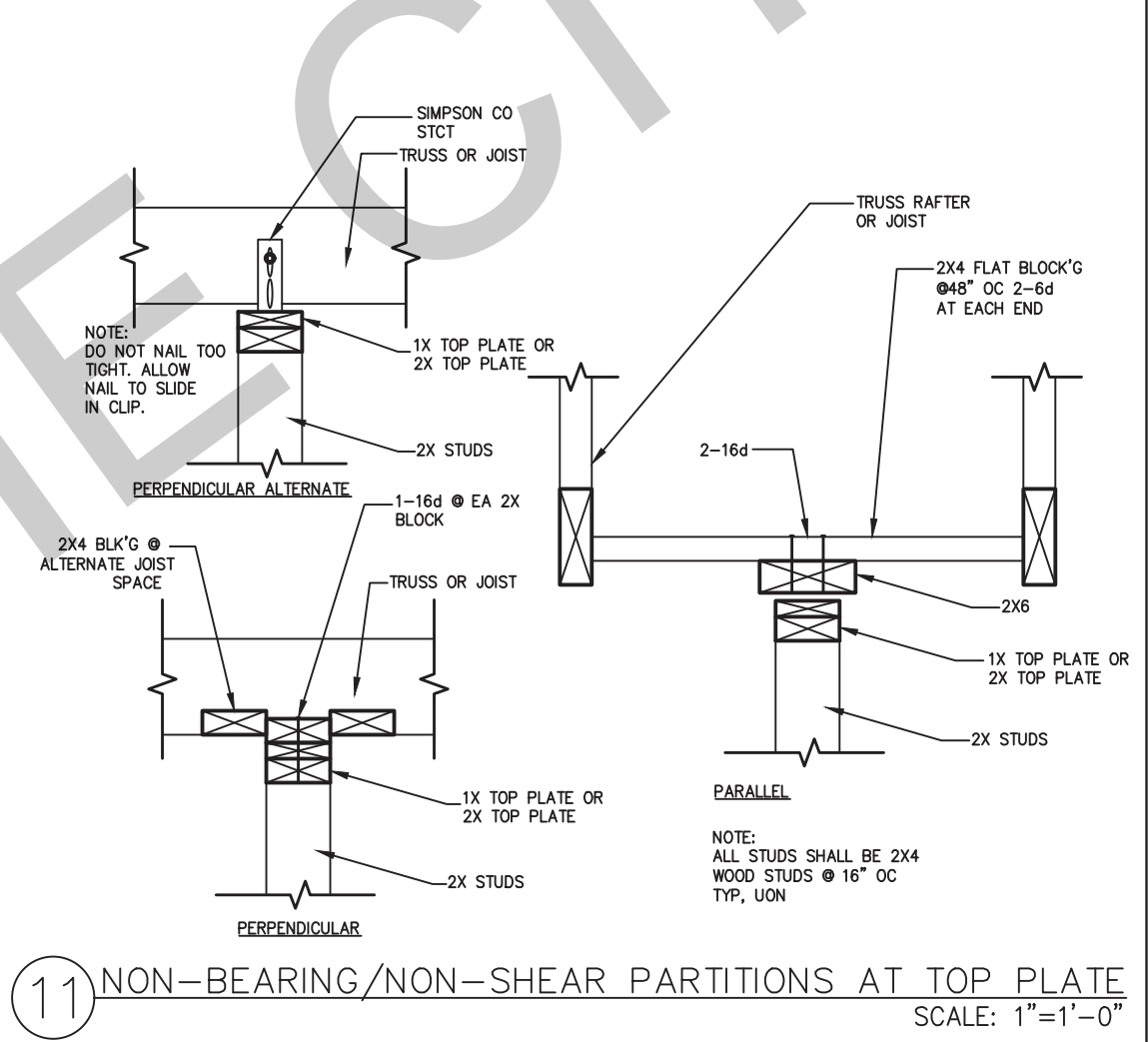
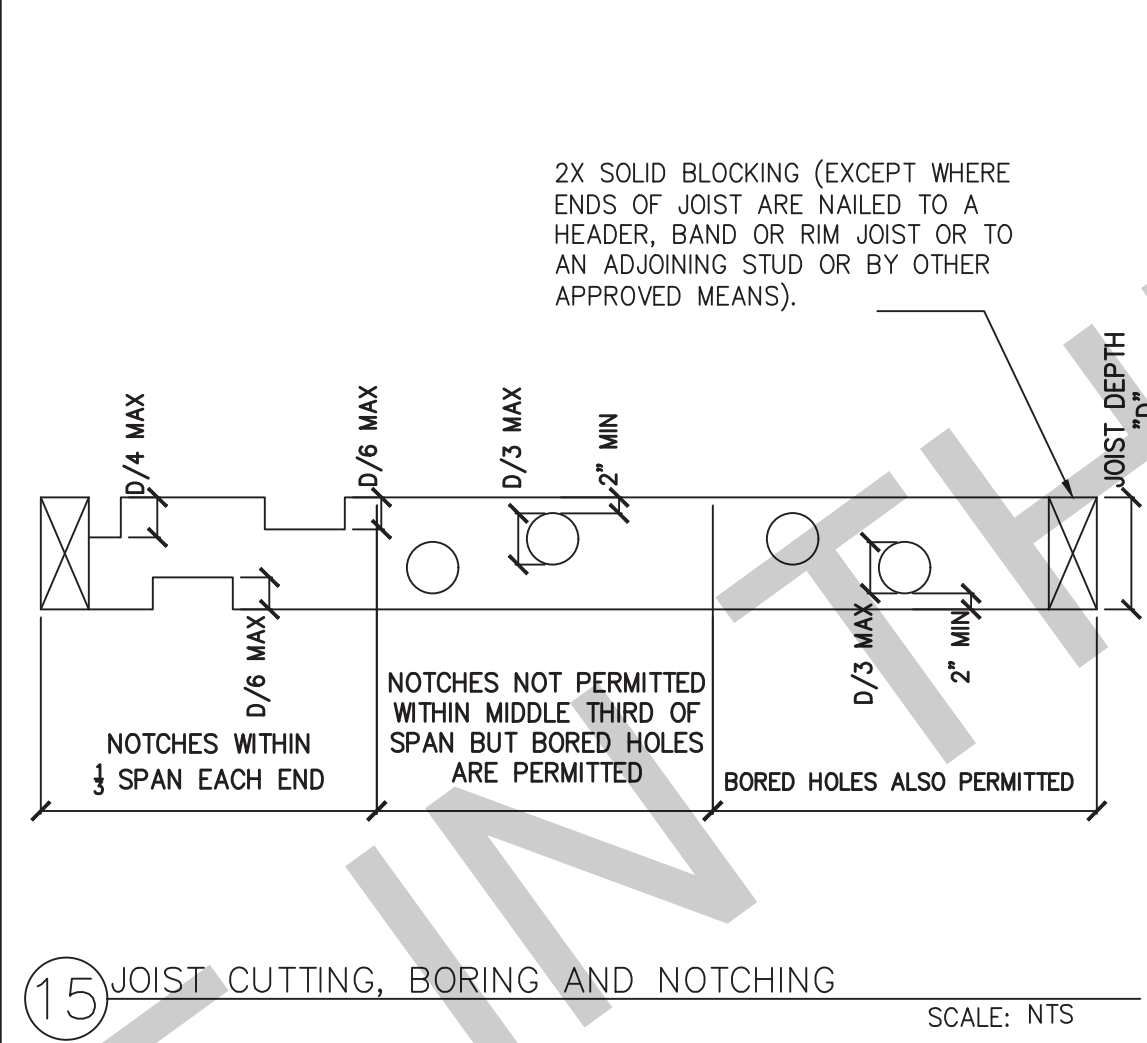
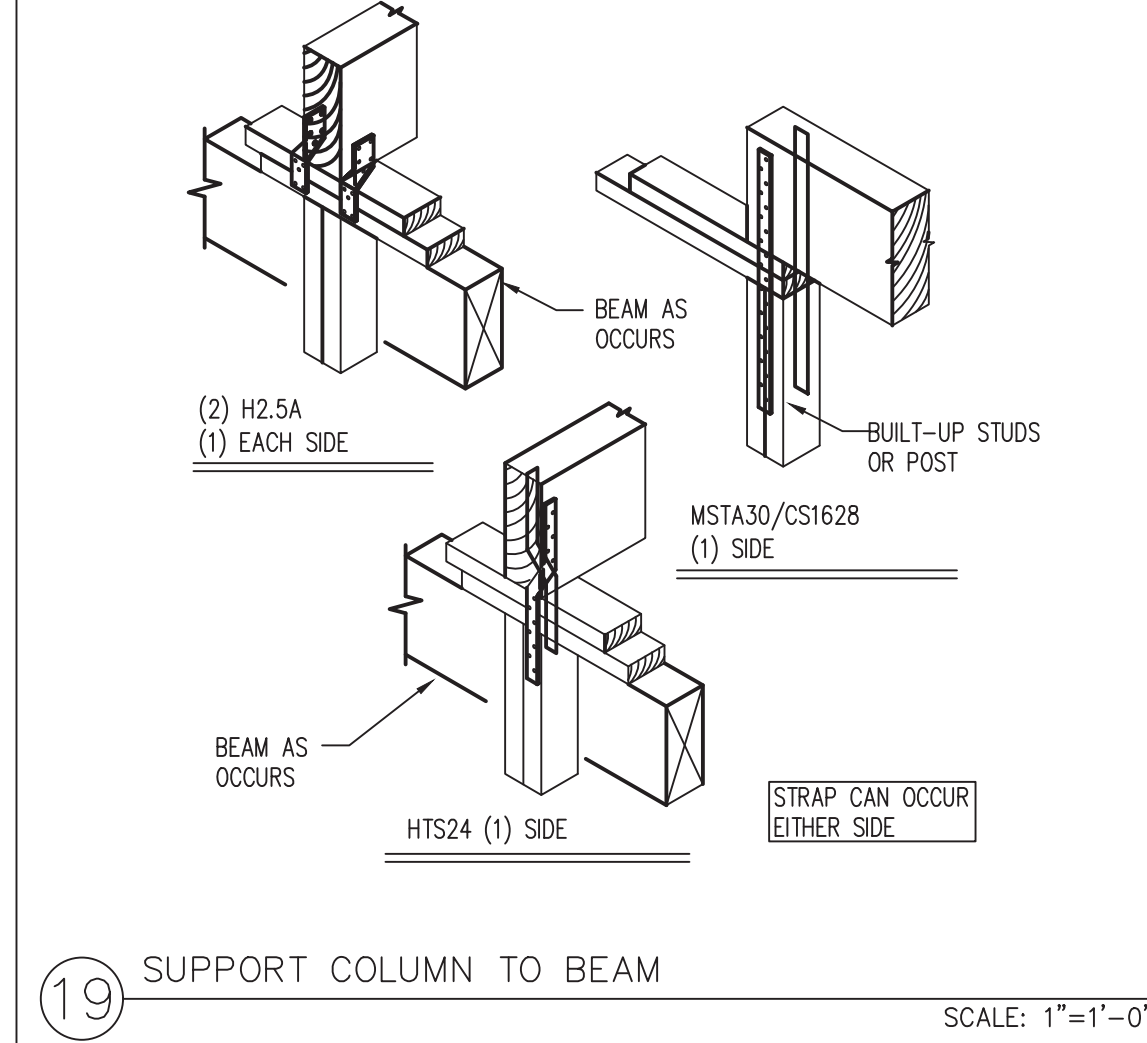
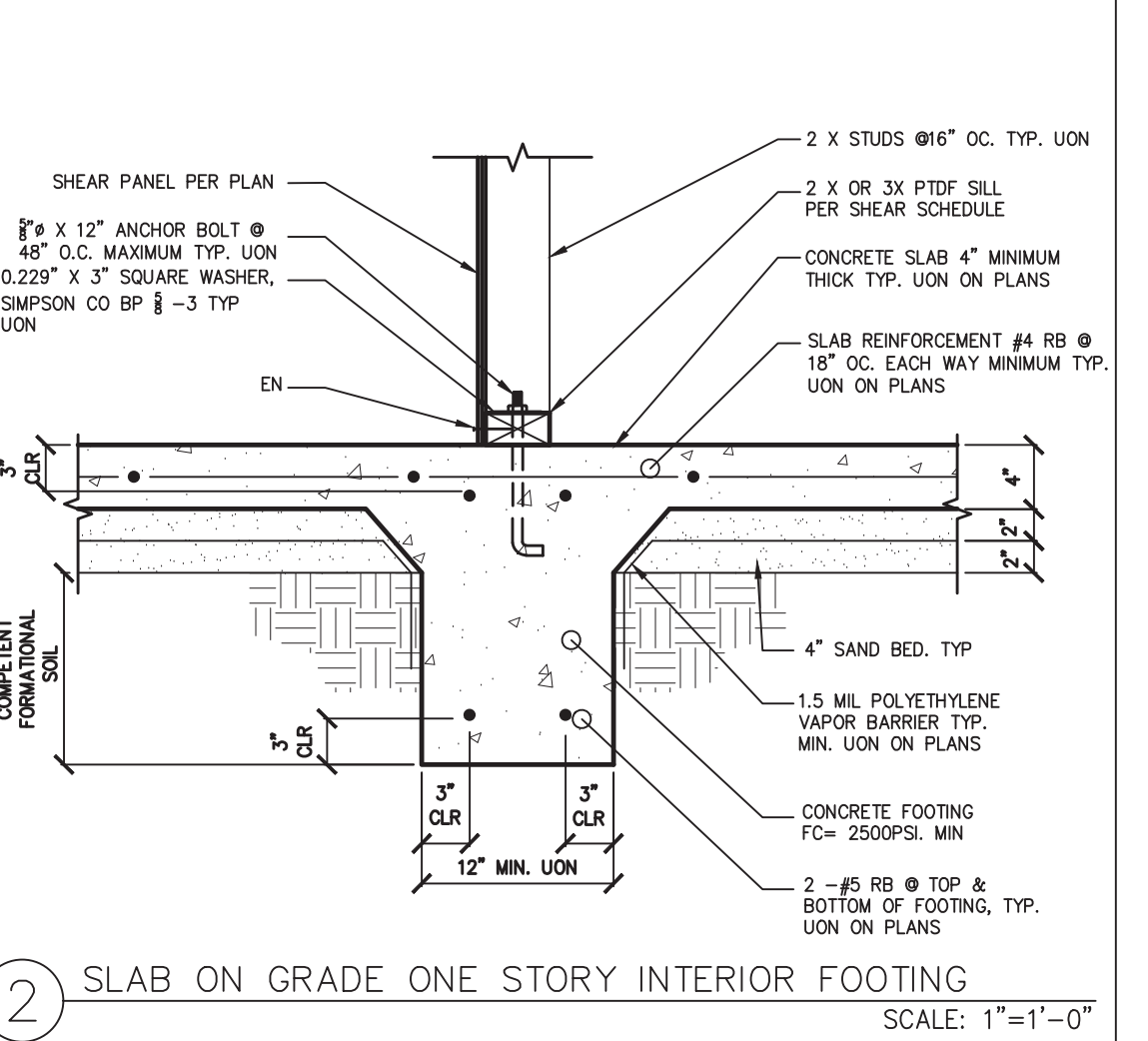
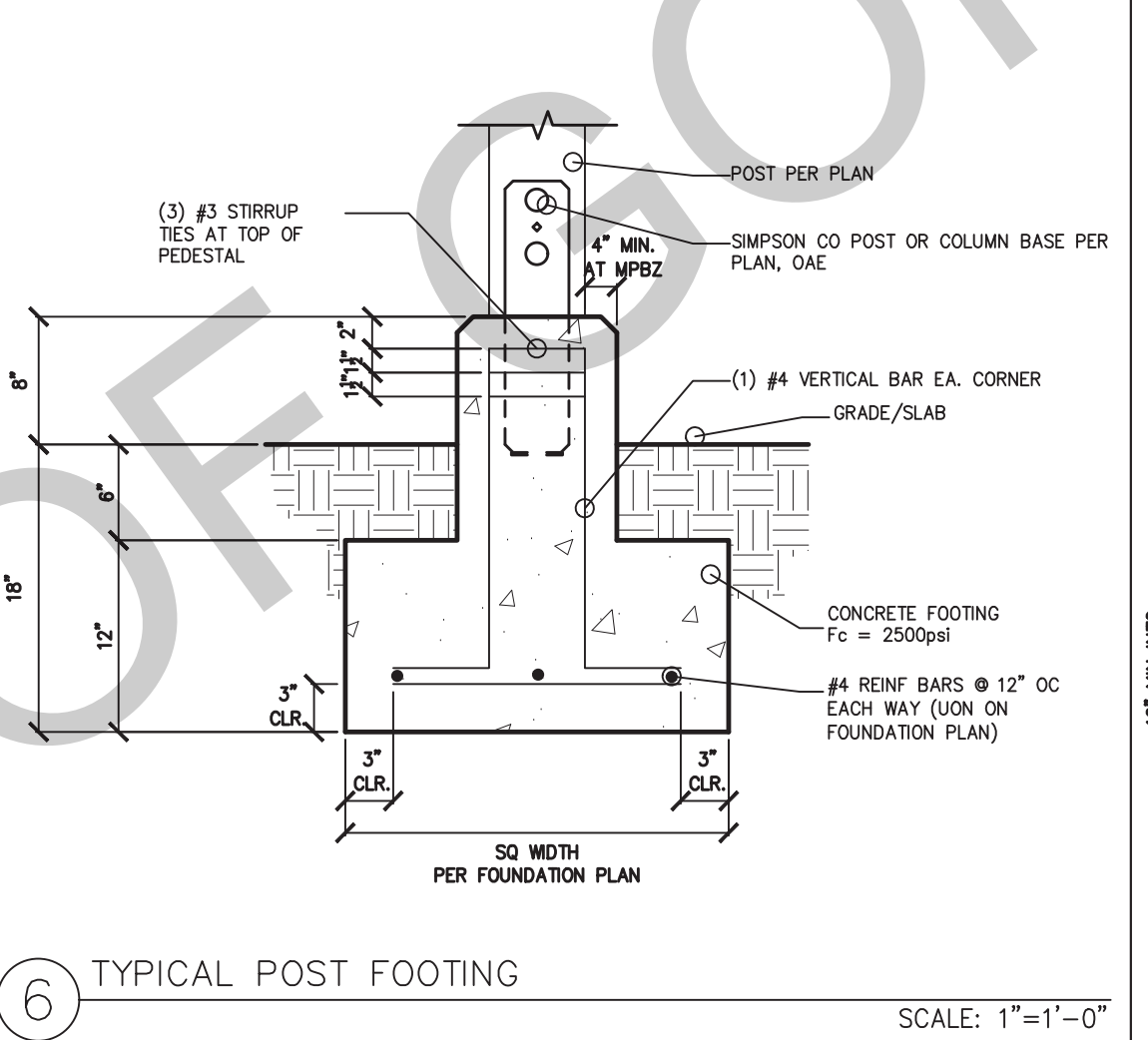
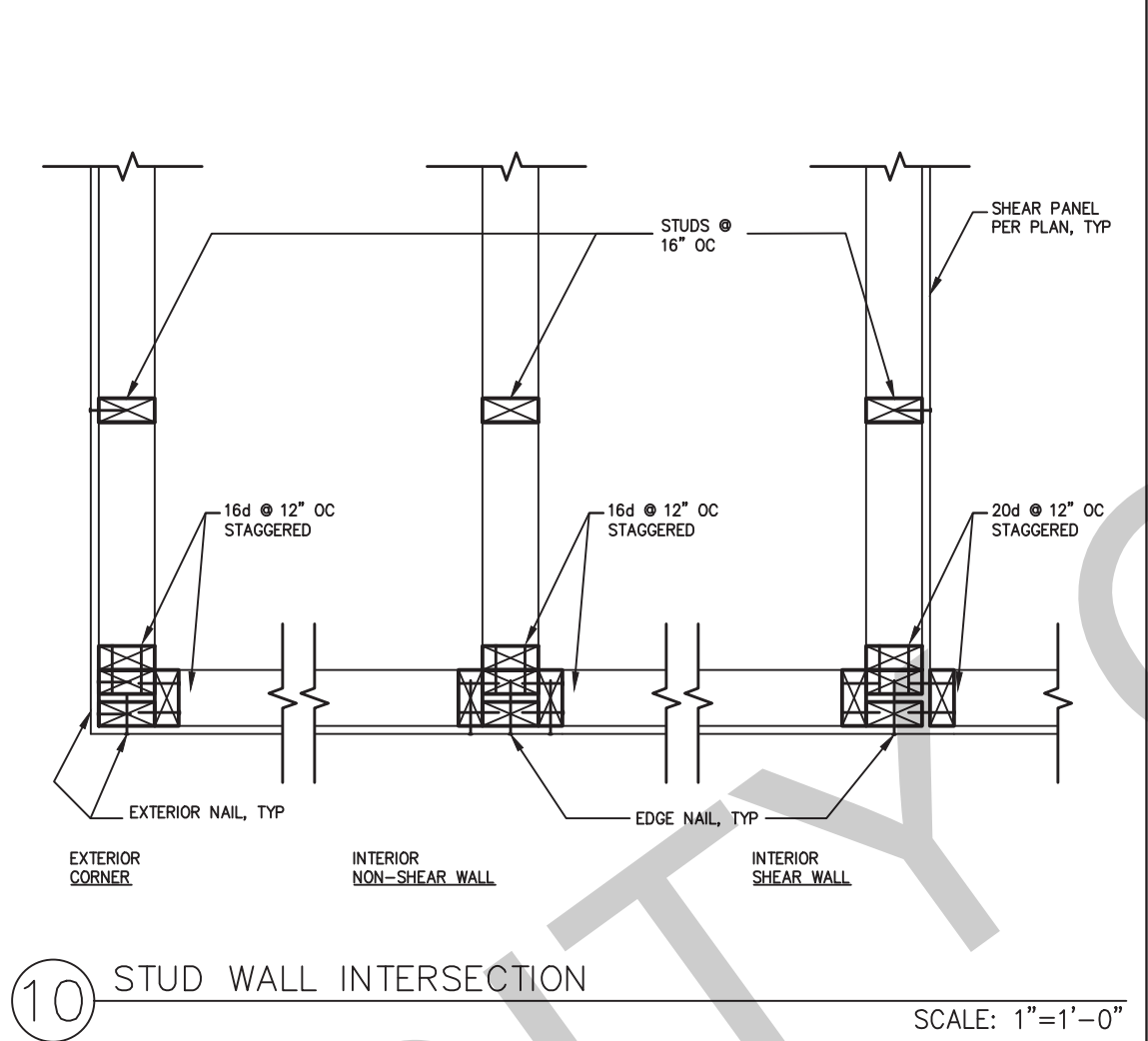
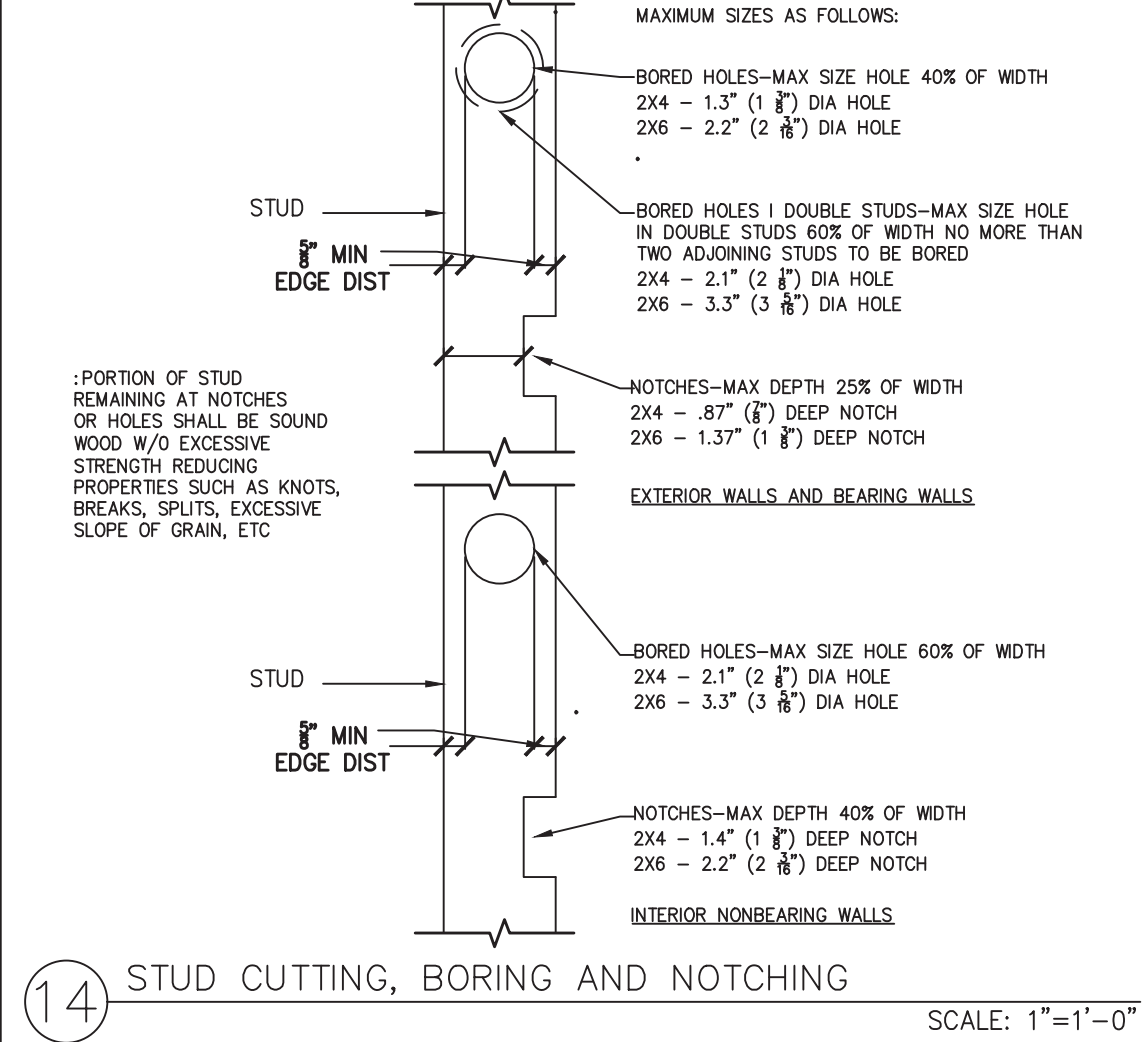
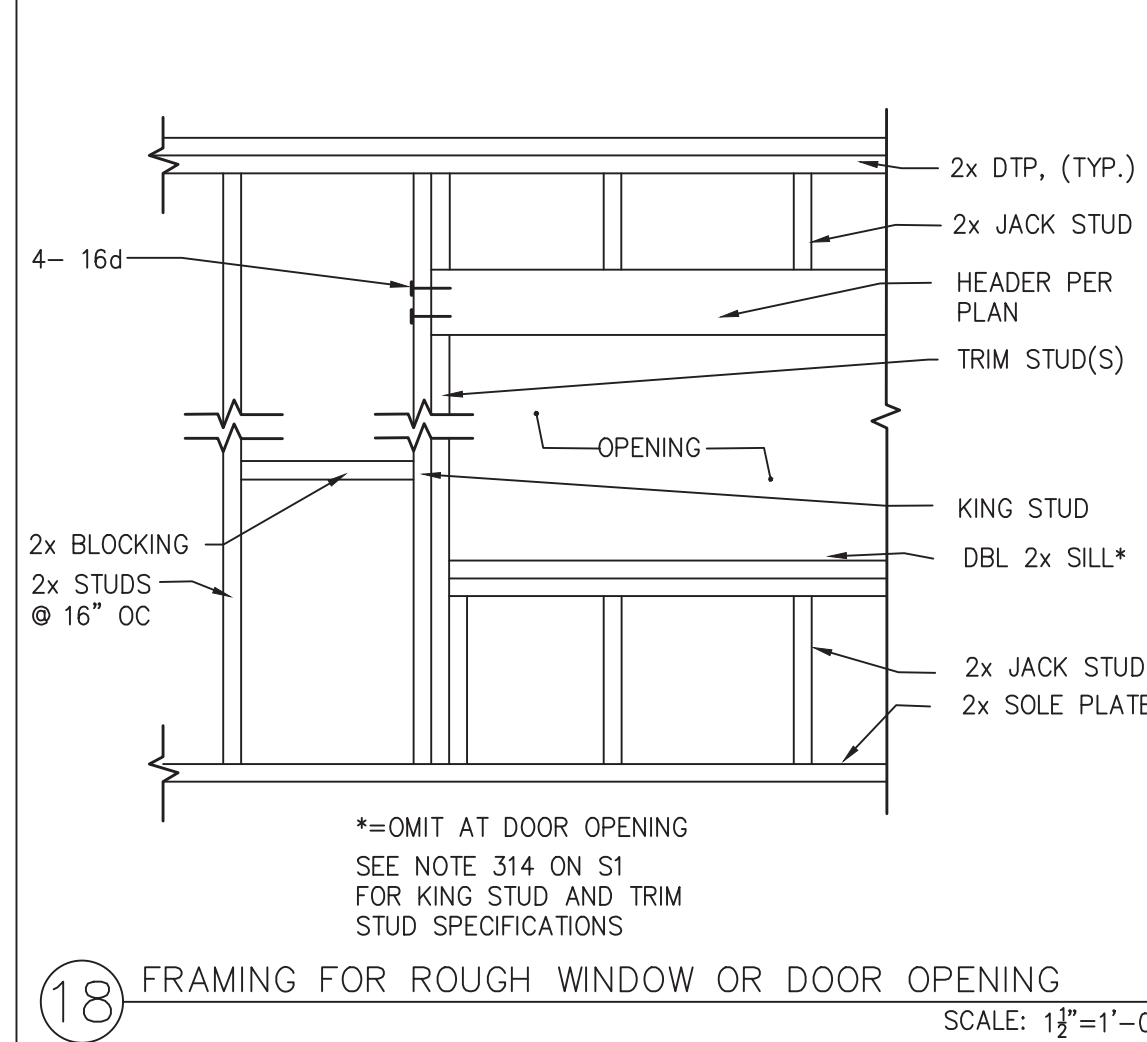
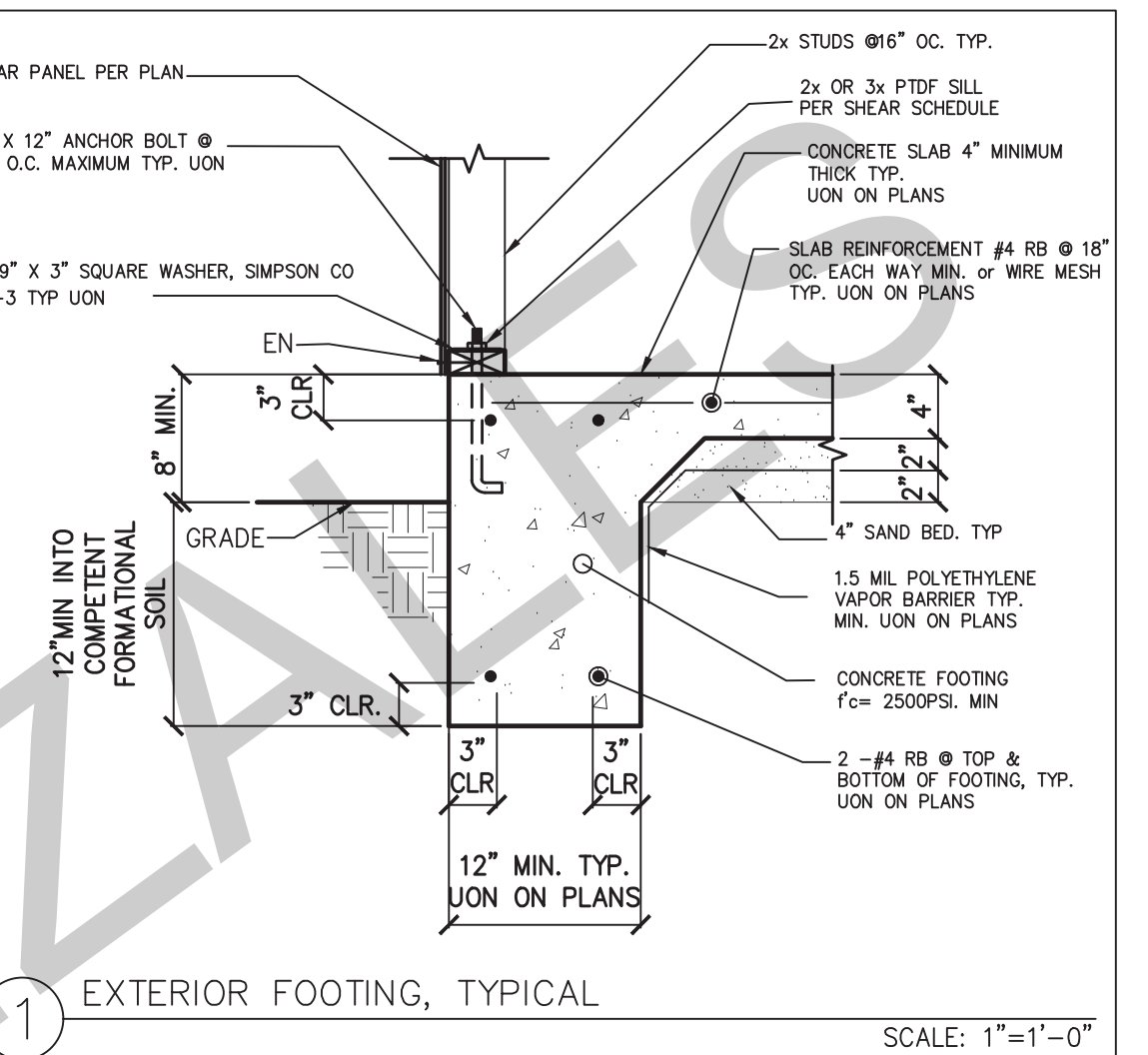
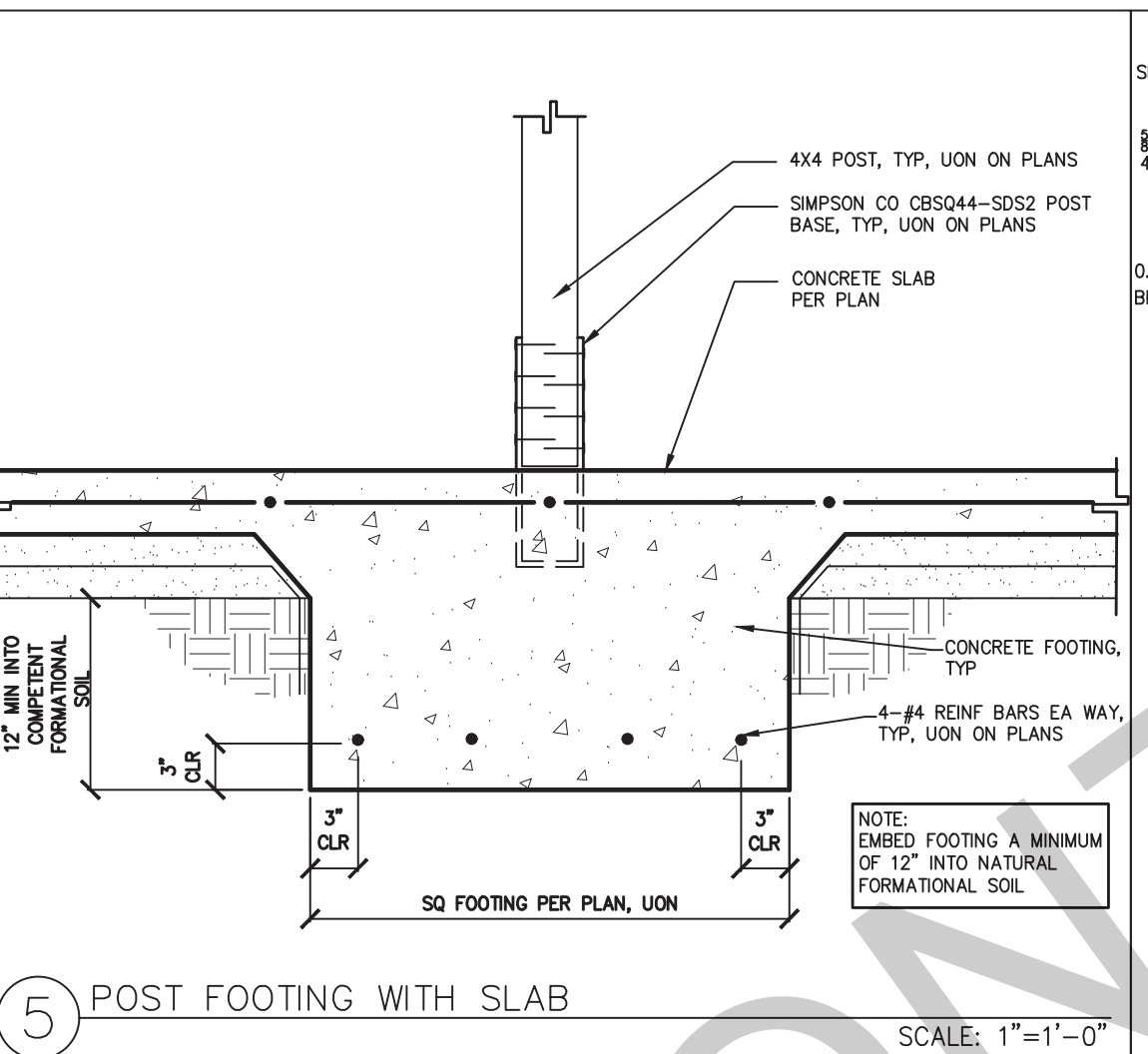
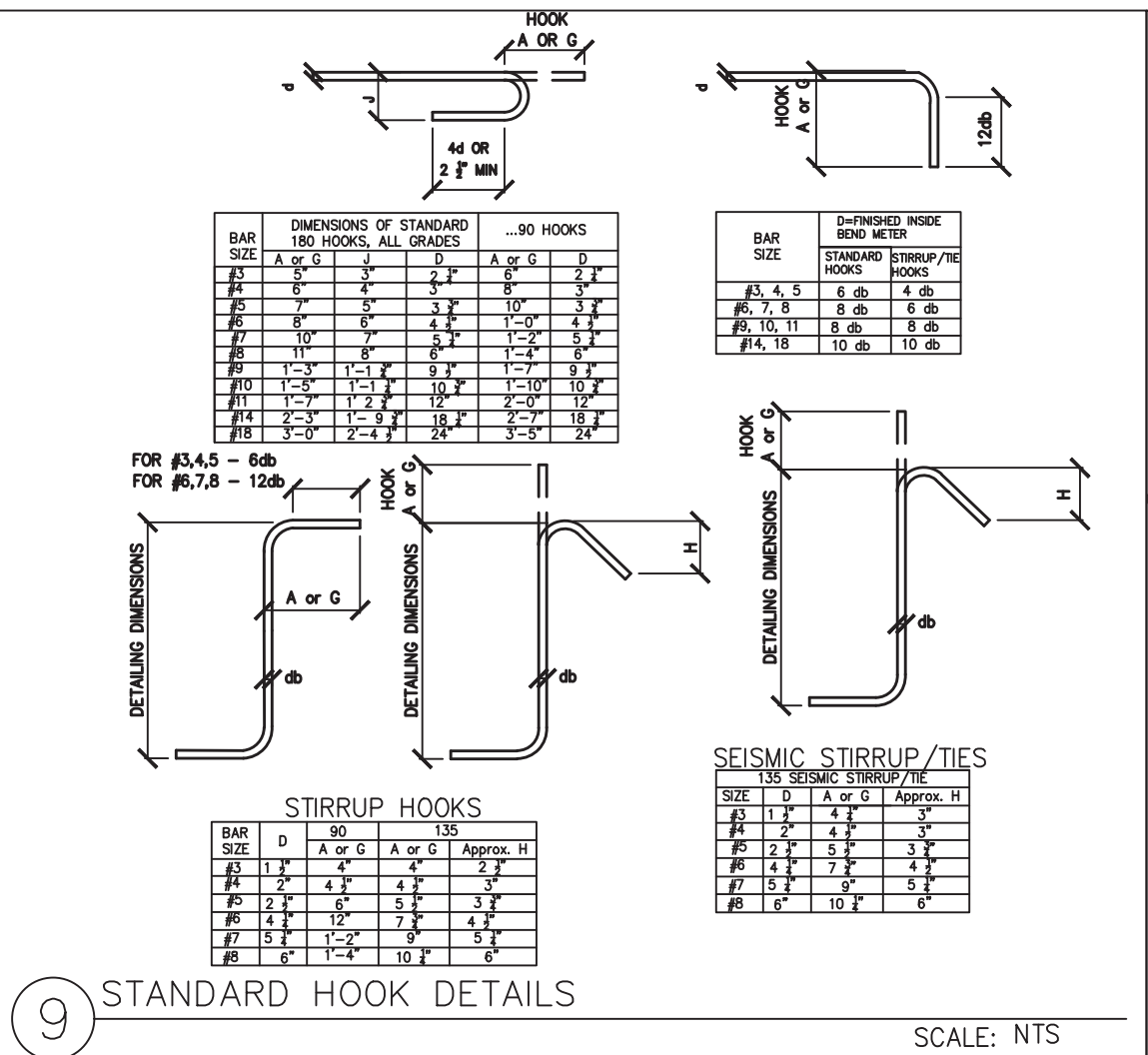
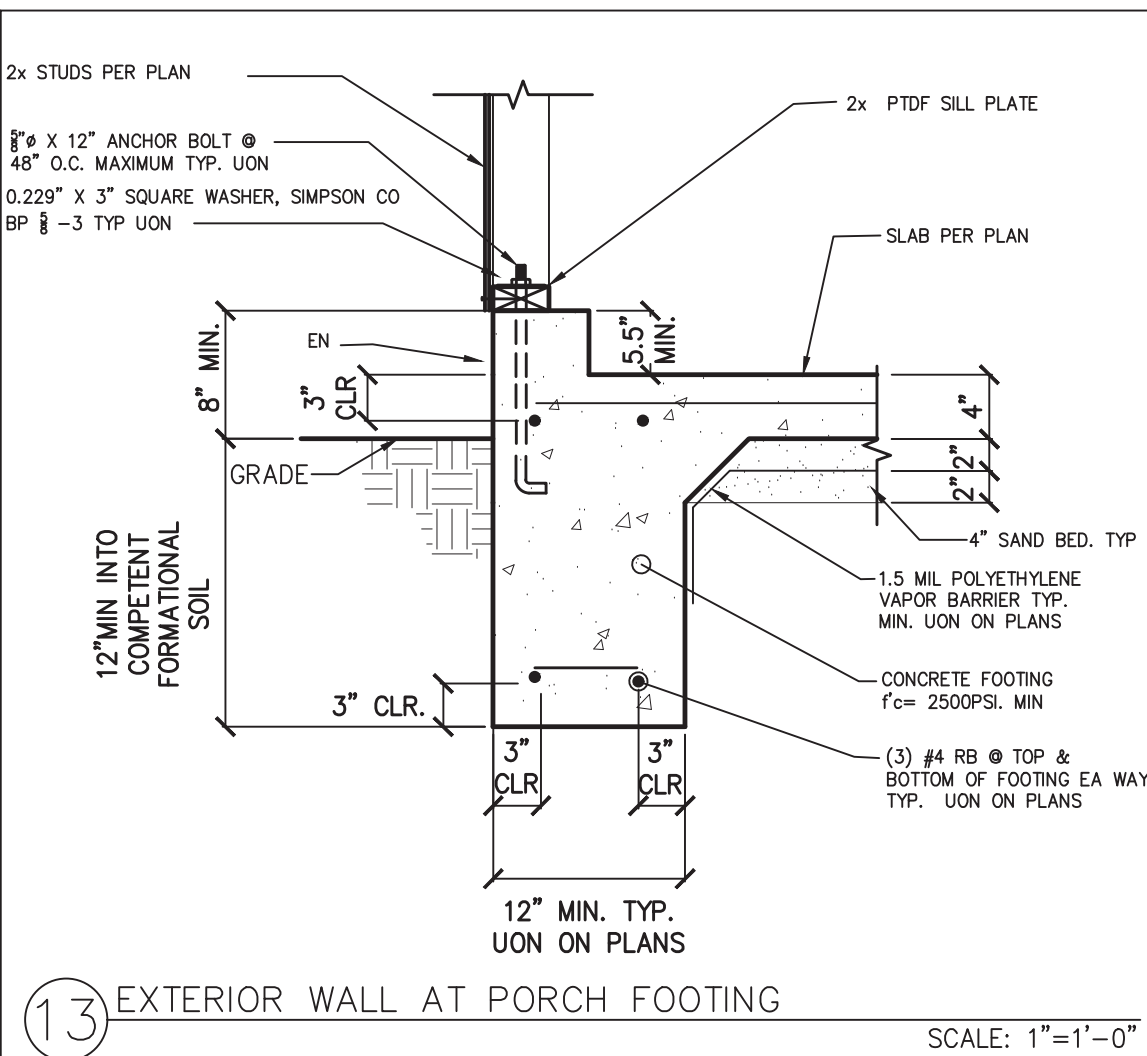
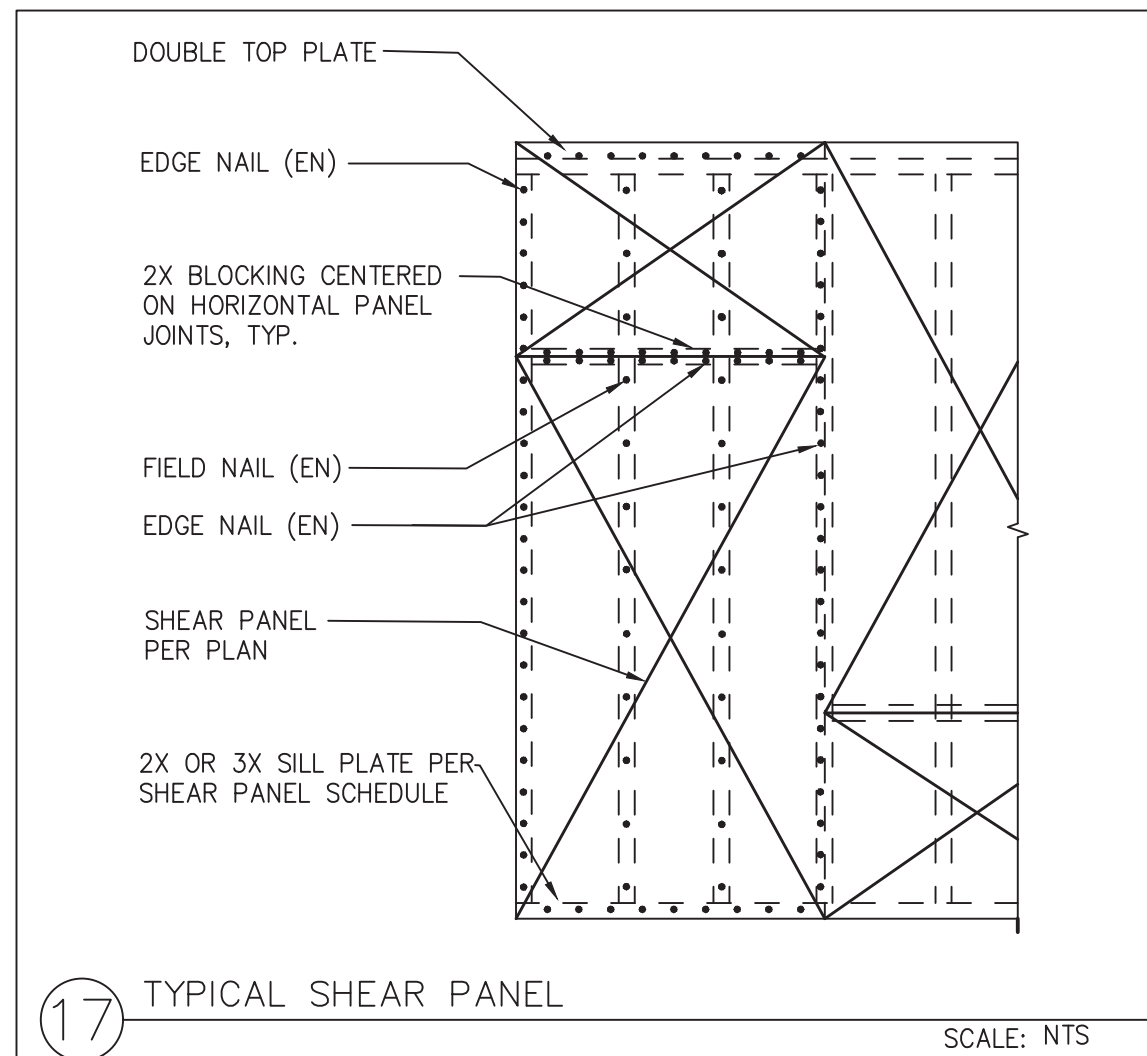
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**Foundation  
& Framing  
Spanish**

date September 2023

project no.

drawn by DESIGN PATH STUDIO

sheet no. **S5**



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Pre-Approved ADU  
Plans

revisions  
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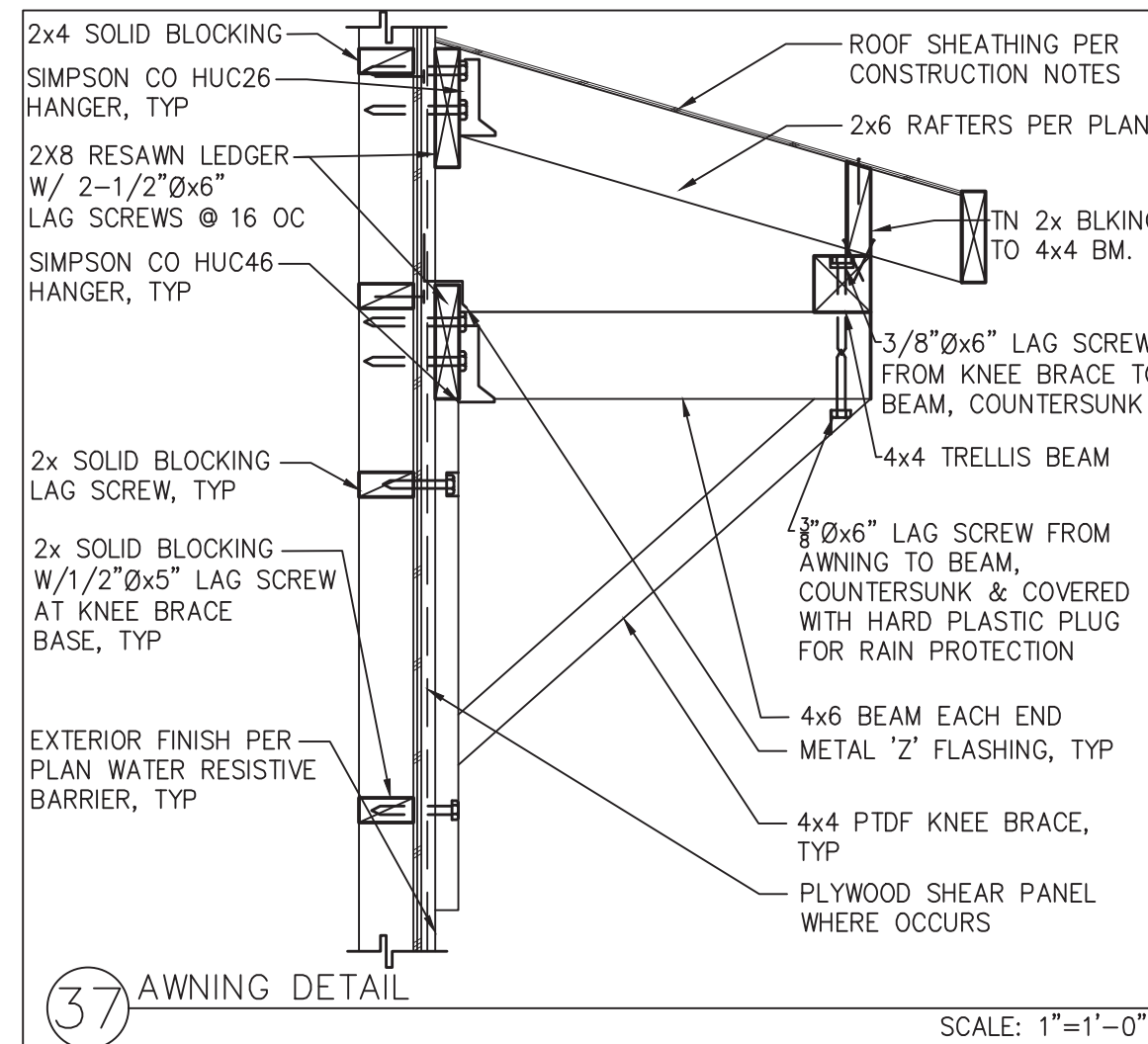
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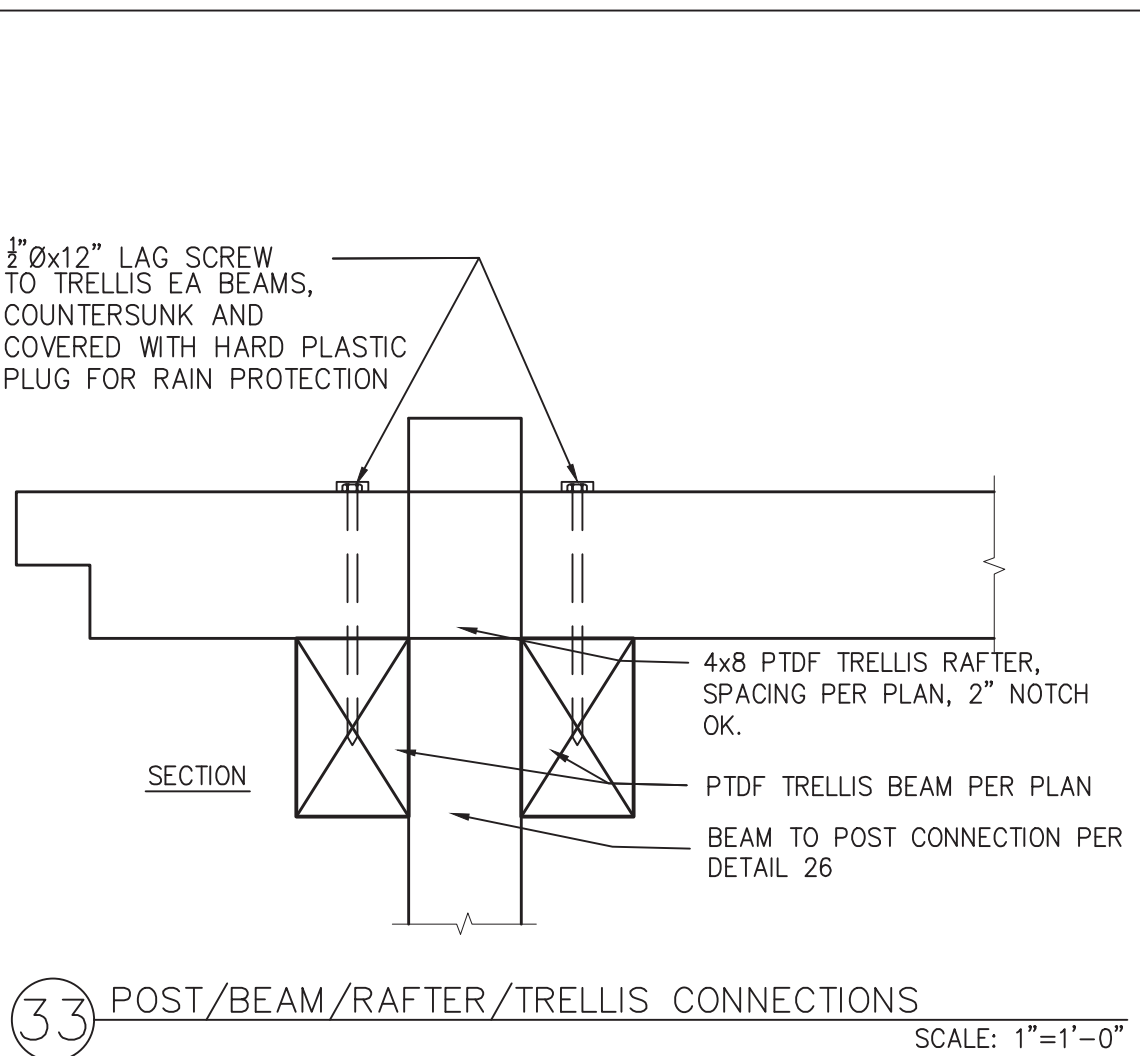
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DESIGN PATH STUDIO

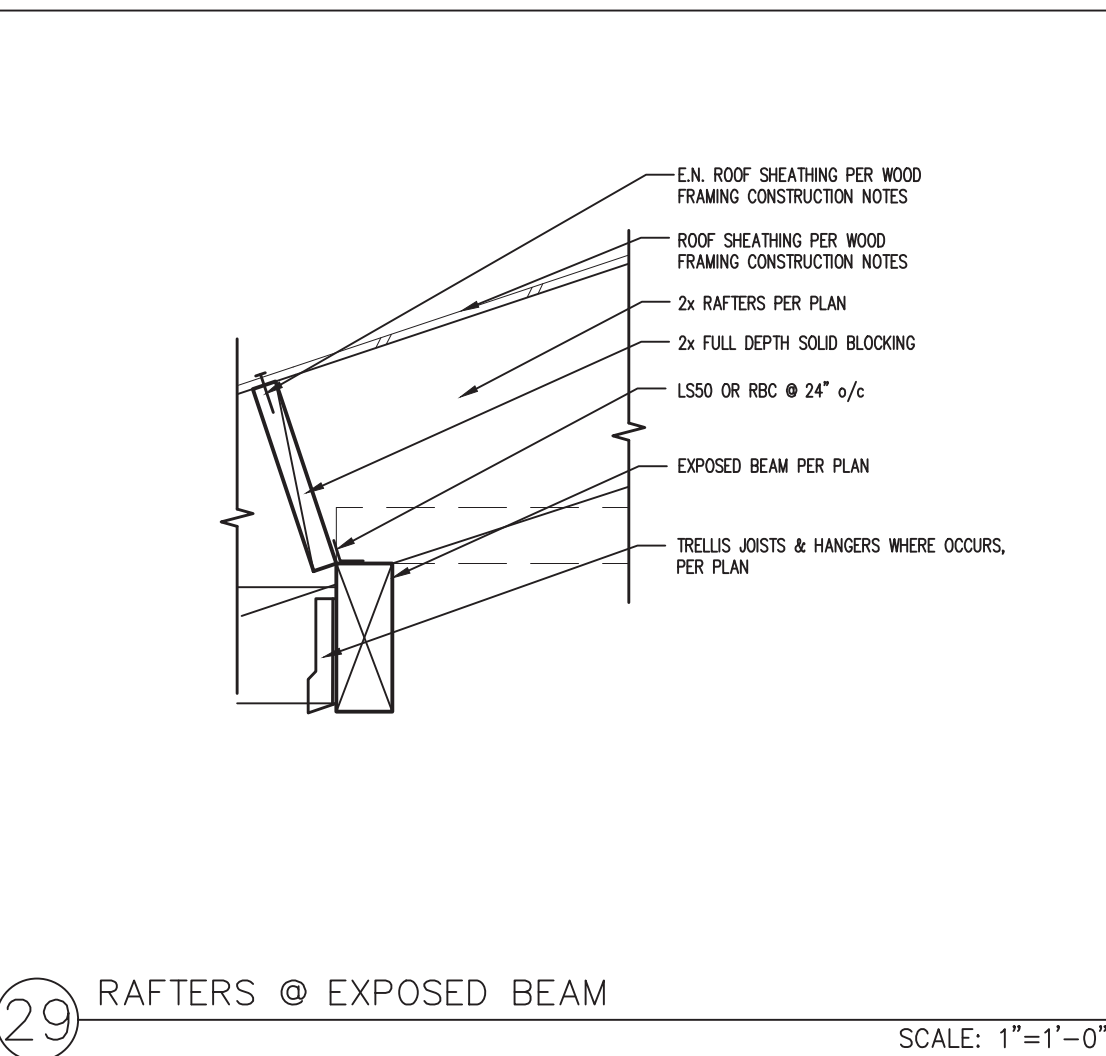
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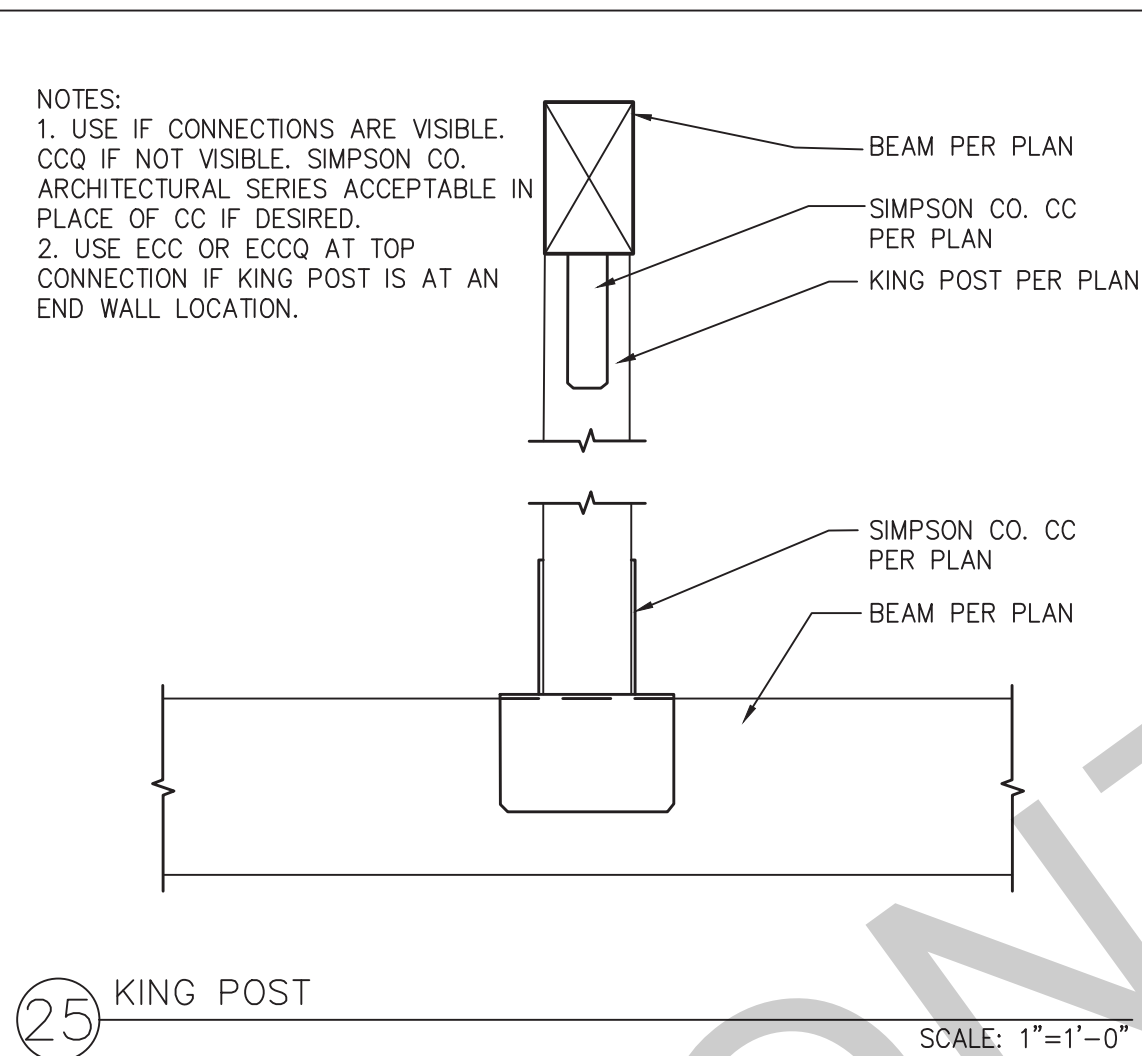
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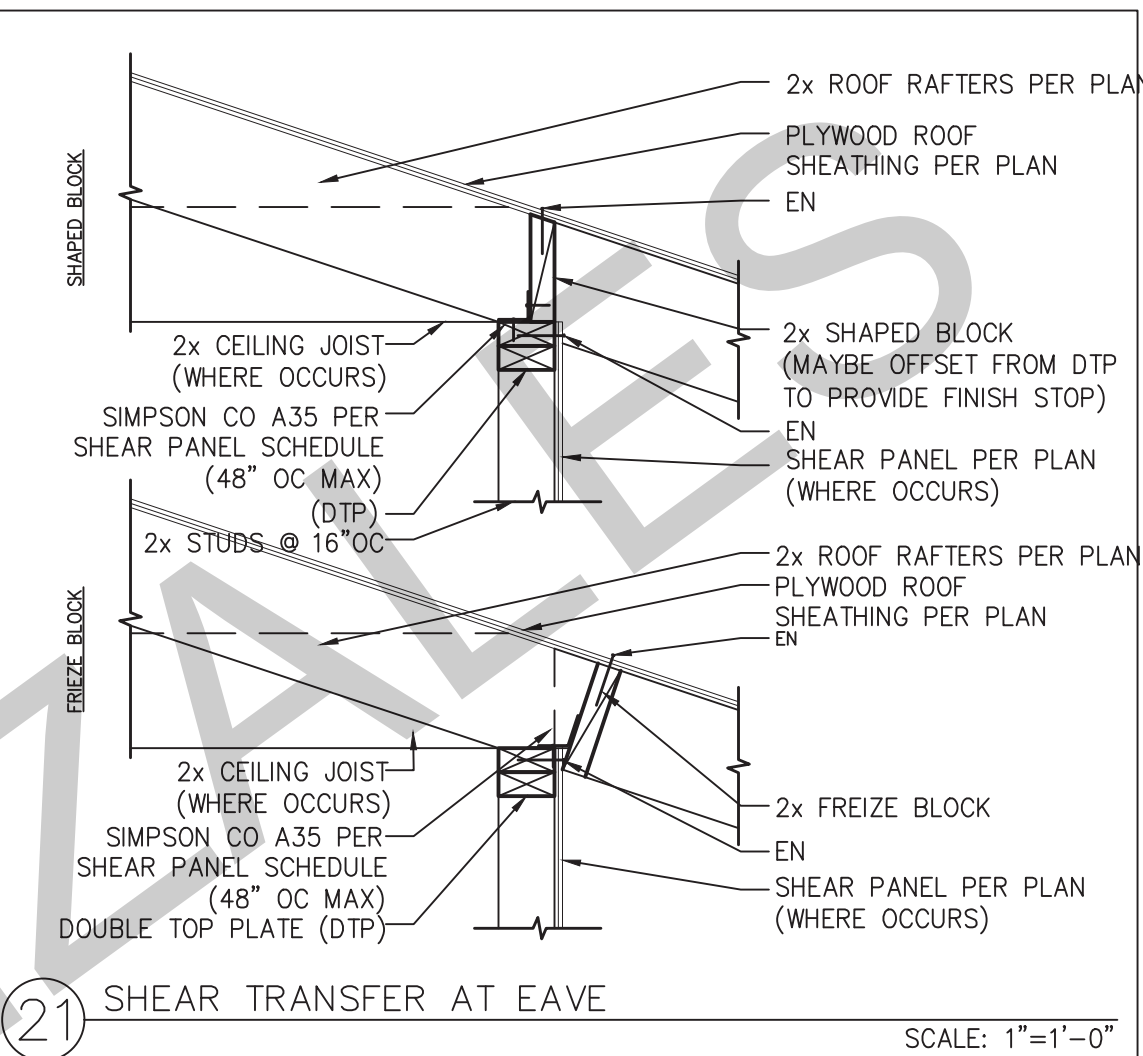
33 POST/BEAM/RAFTER/TRELLIS CONNECTIONS SCALE: 1"=1'-0"



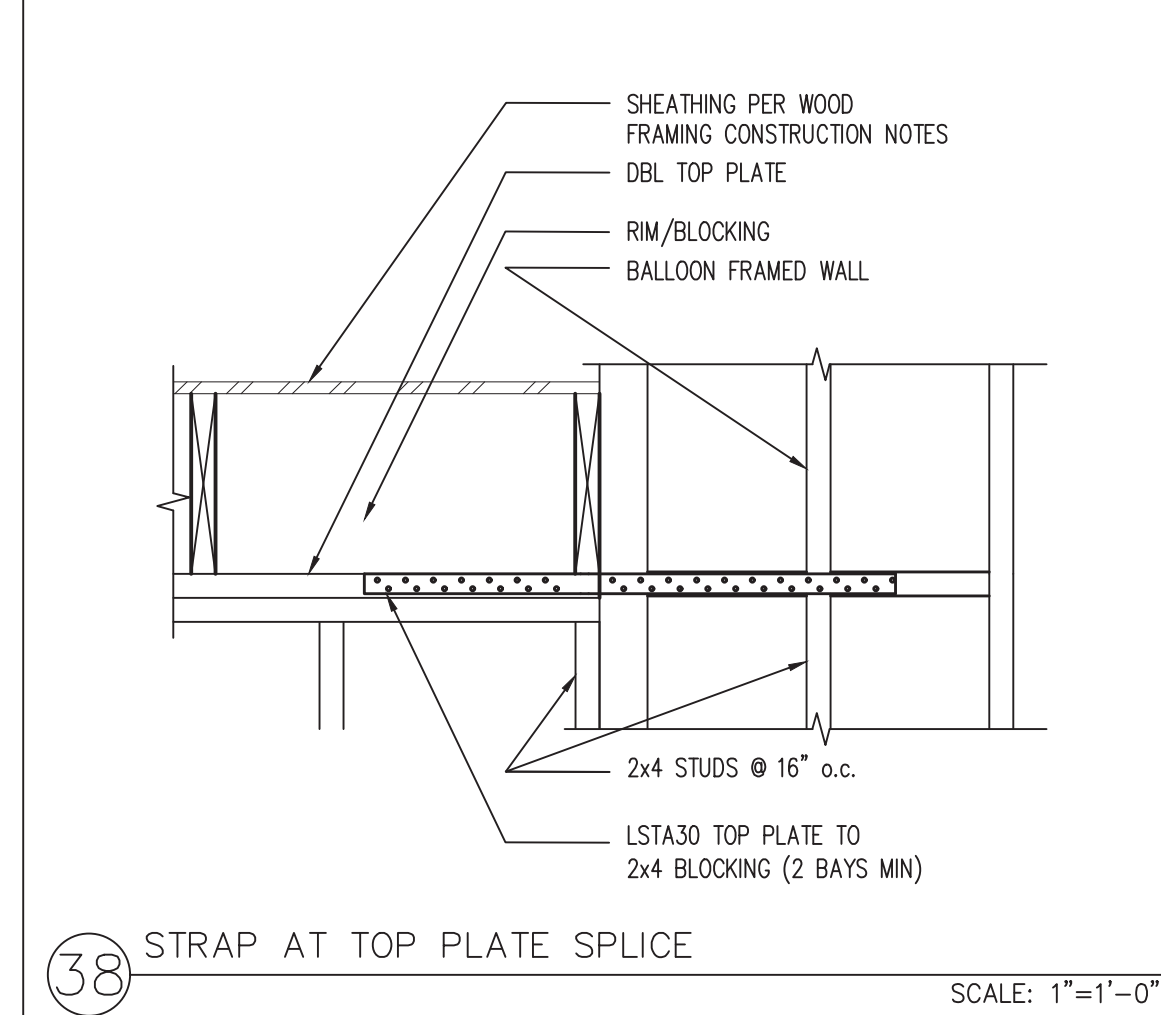
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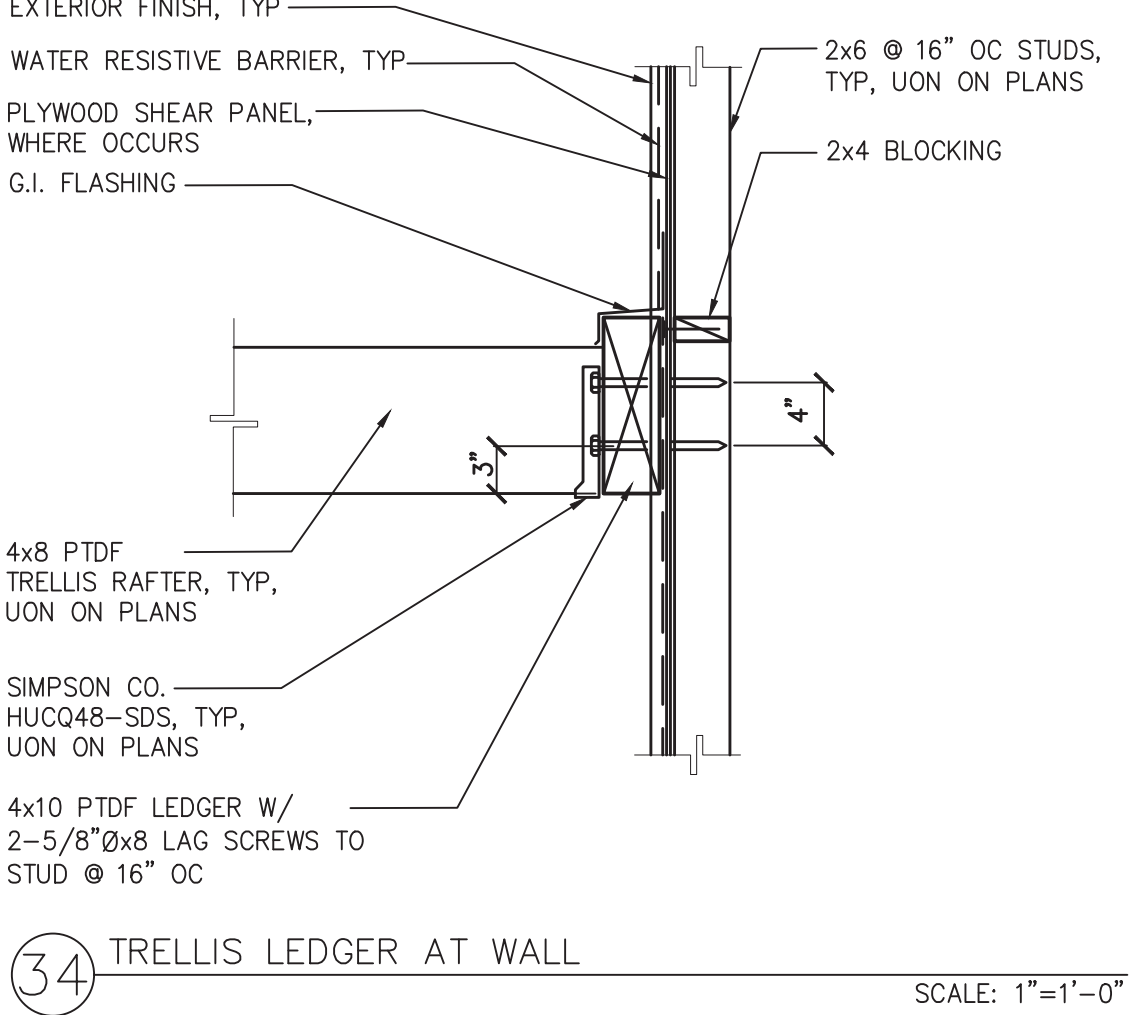
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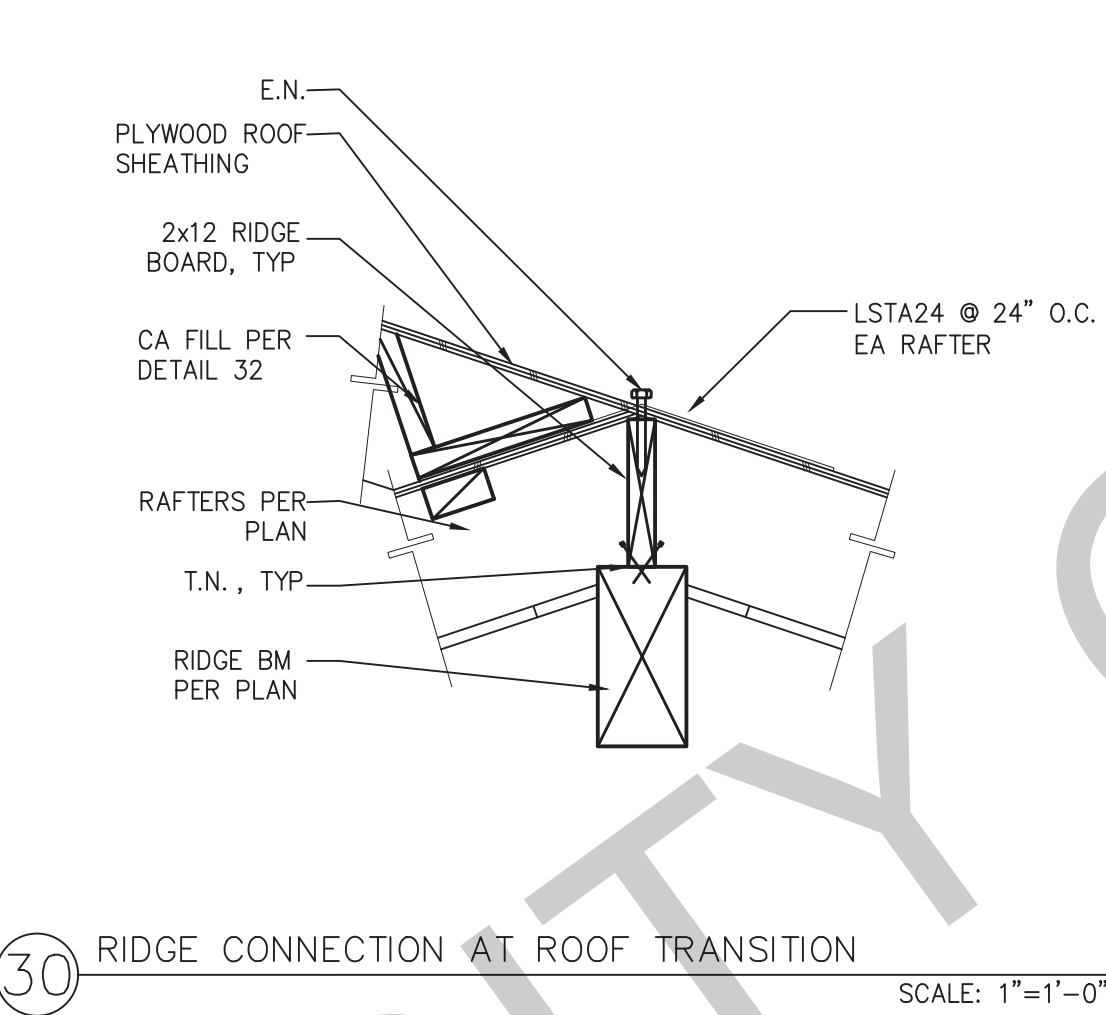
21 SHEAR TRANSFER AT EAVE SCALE: 1"=1'-0"



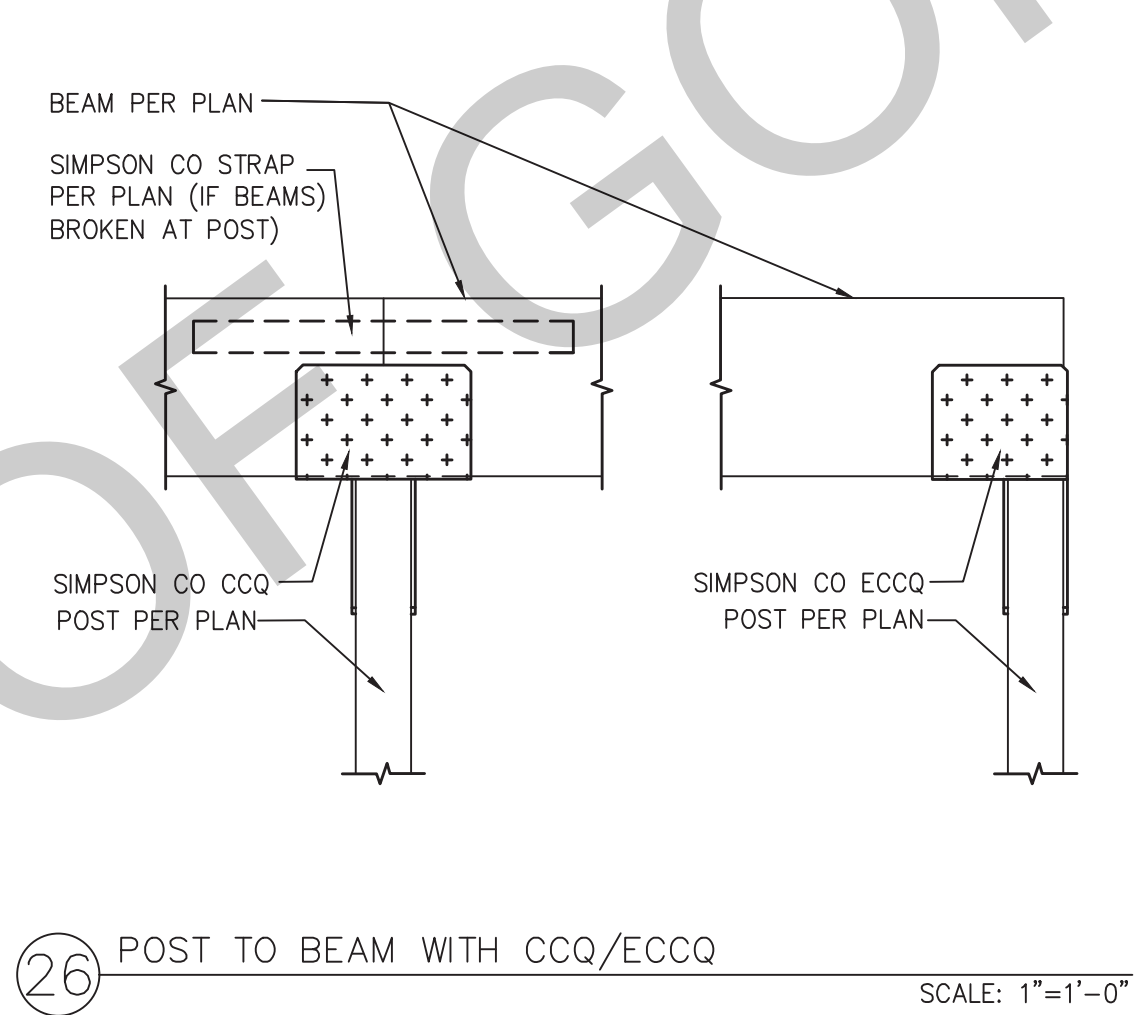
38 STRAP AT TOP PLATE SPLICE SCALE: 1"=1'-0"



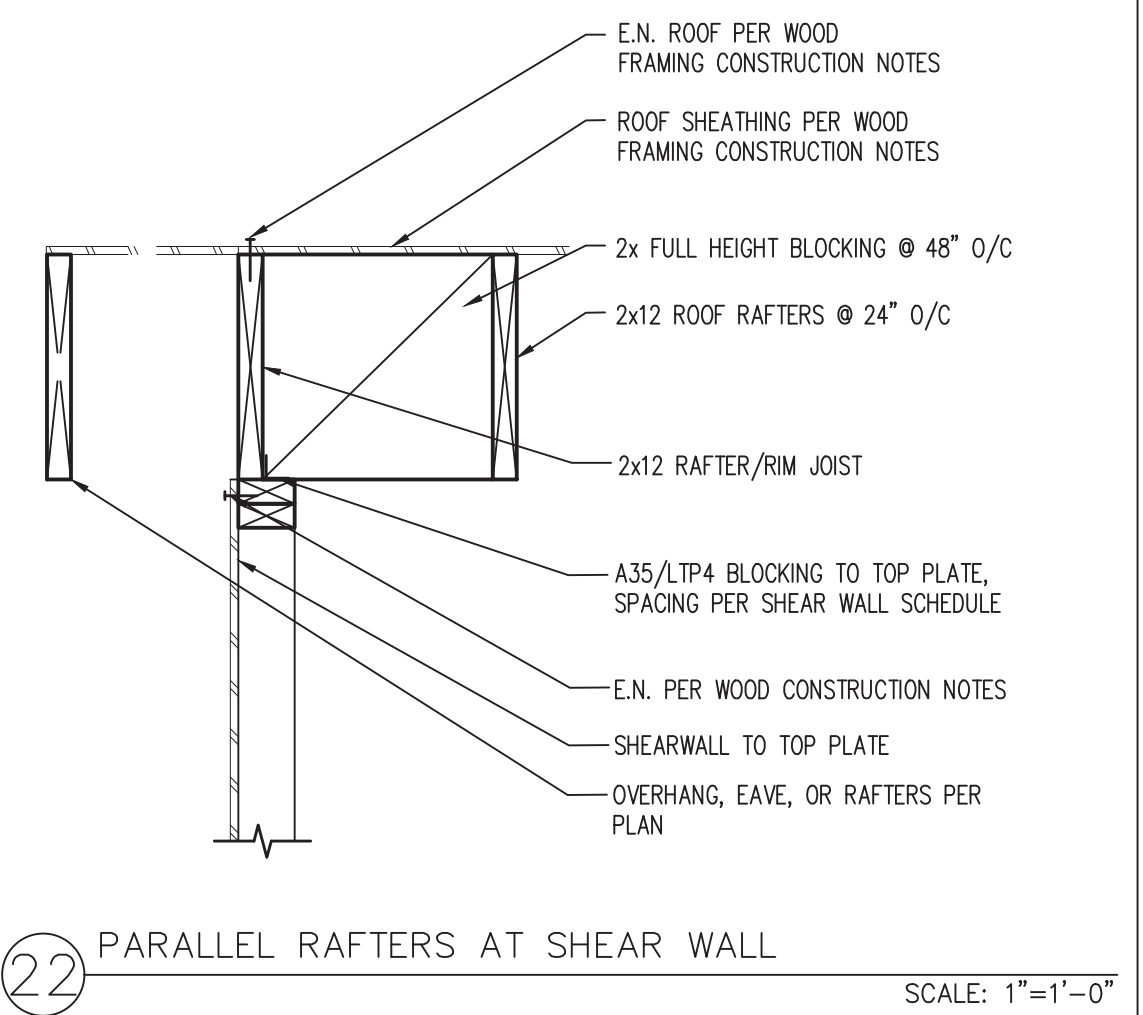
34 TRELLIS LEDGER AT WALL SCALE: 1"=1'-0"



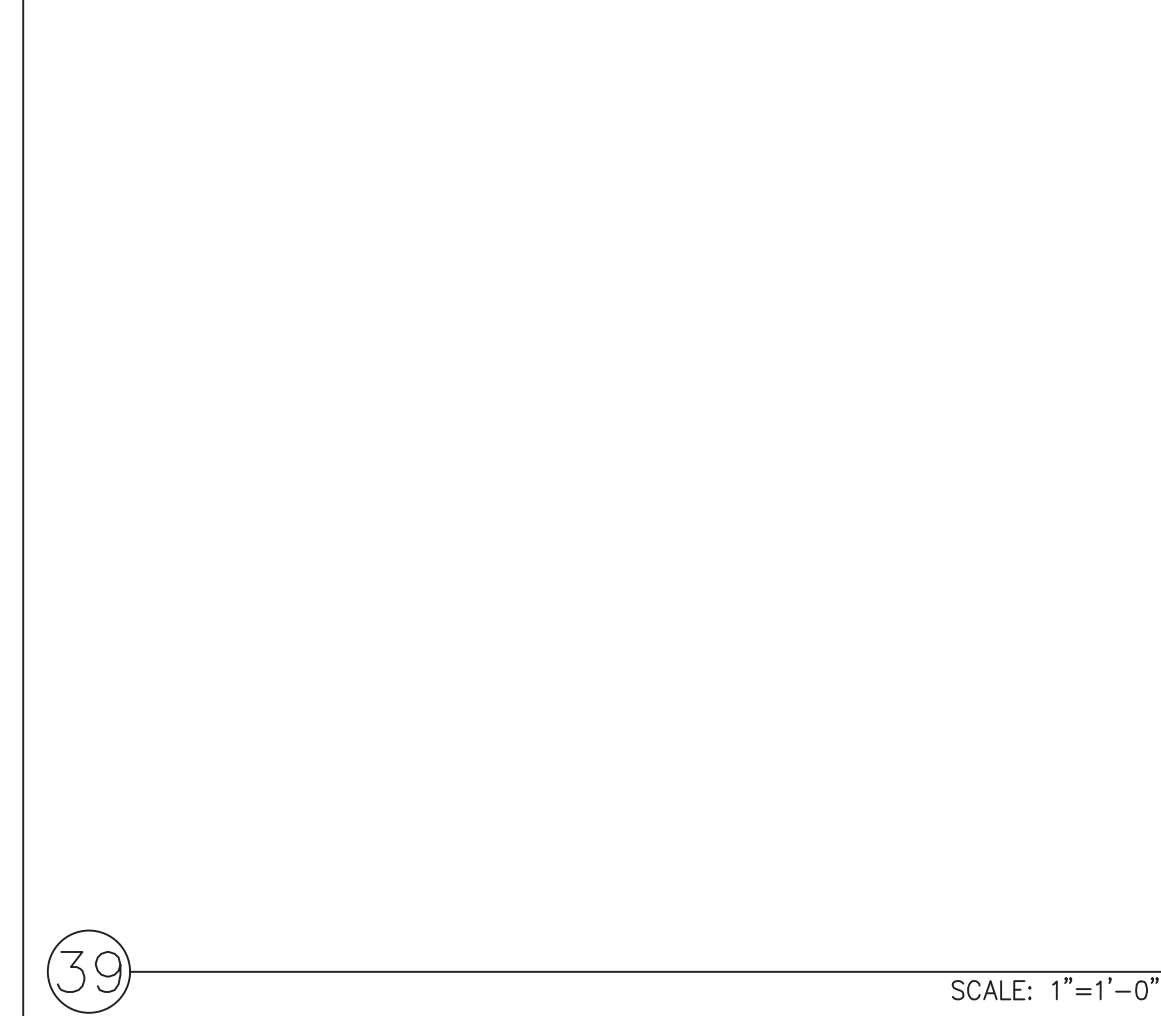
30 RIDGE CONNECTION AT ROOF TRANSITION SCALE: 1"=1'-0"



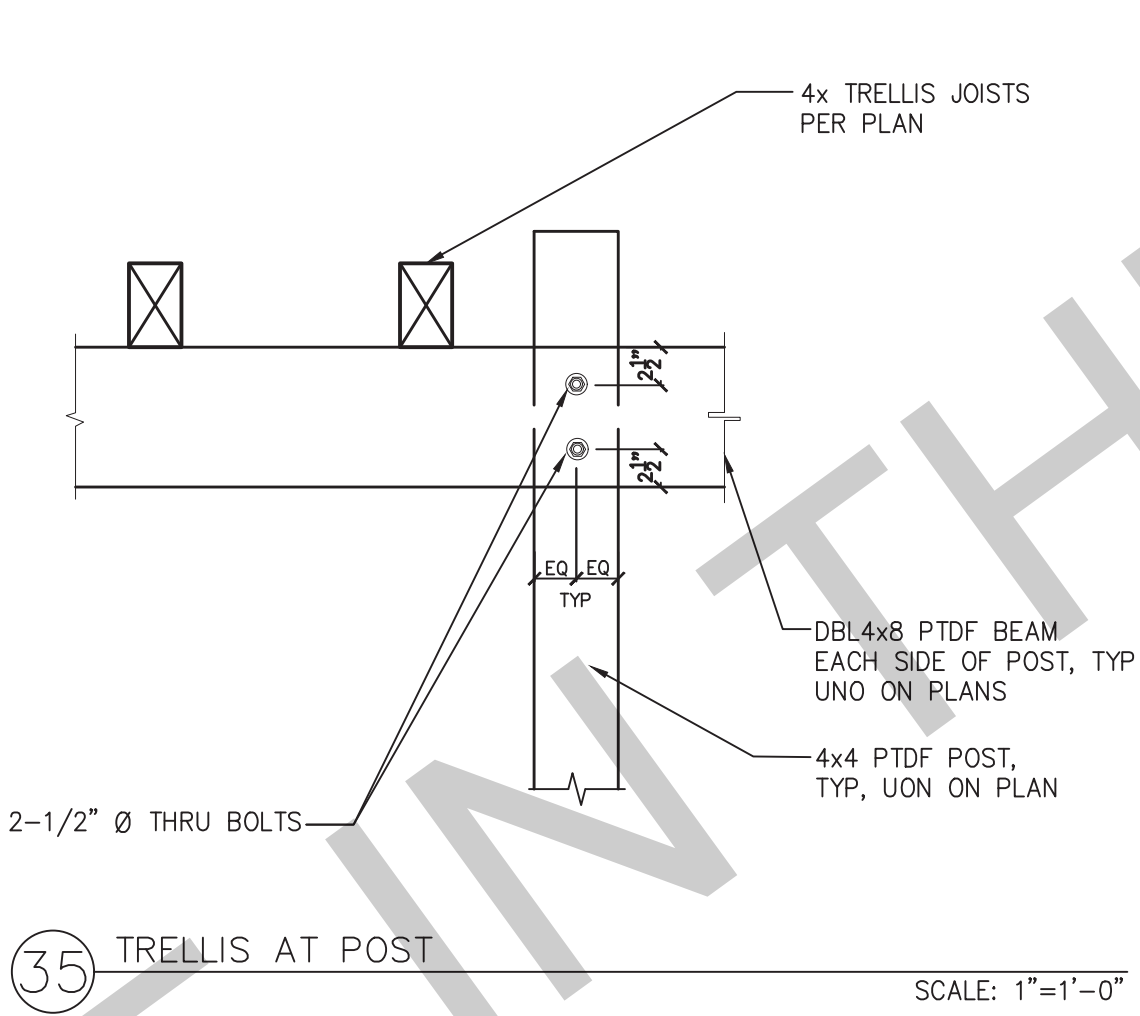
26 POST TO BEAM WITH CCQ/ECCQ SCALE: 1"=1'-0"



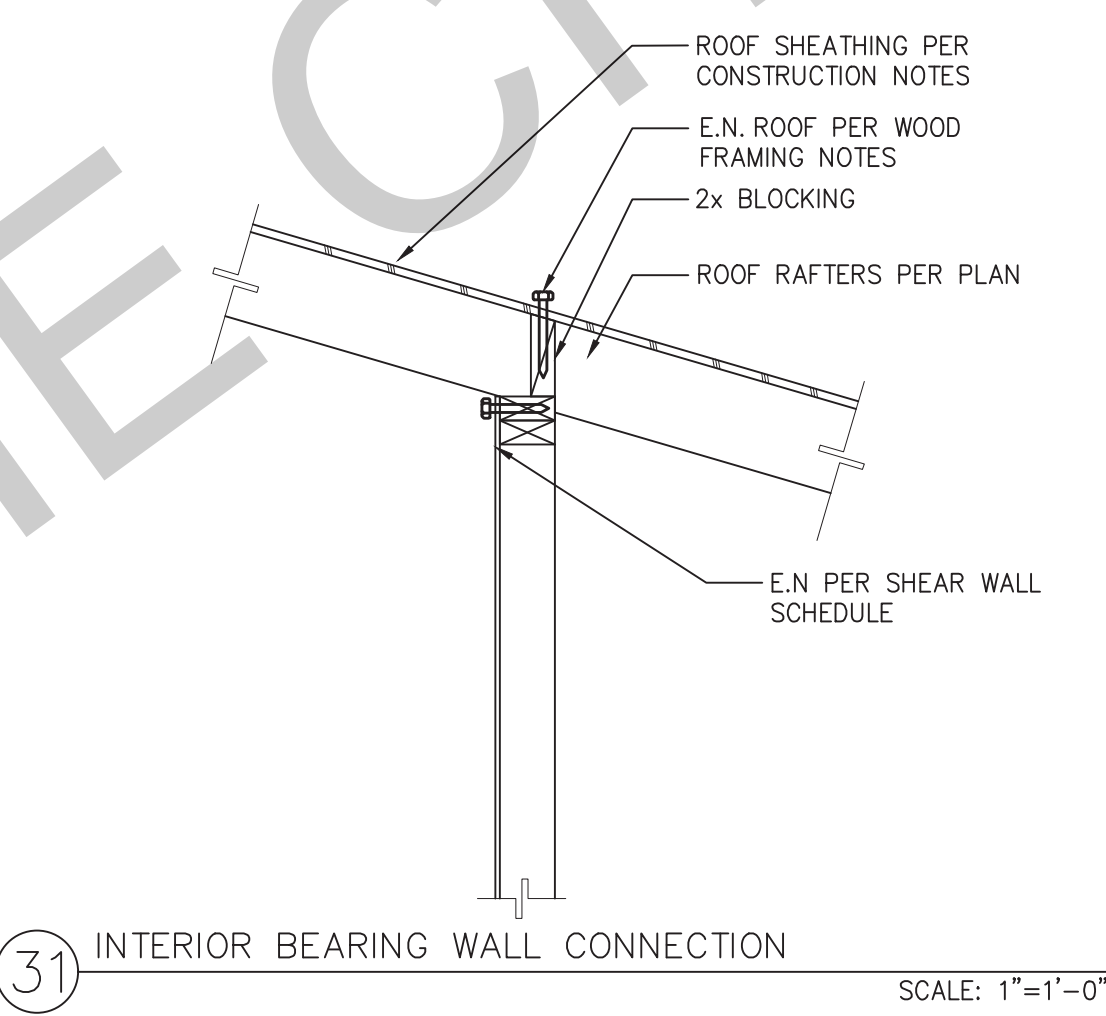
22 PARALLEL RAFTERS AT SHEAR WALL SCALE: 1"=1'-0"



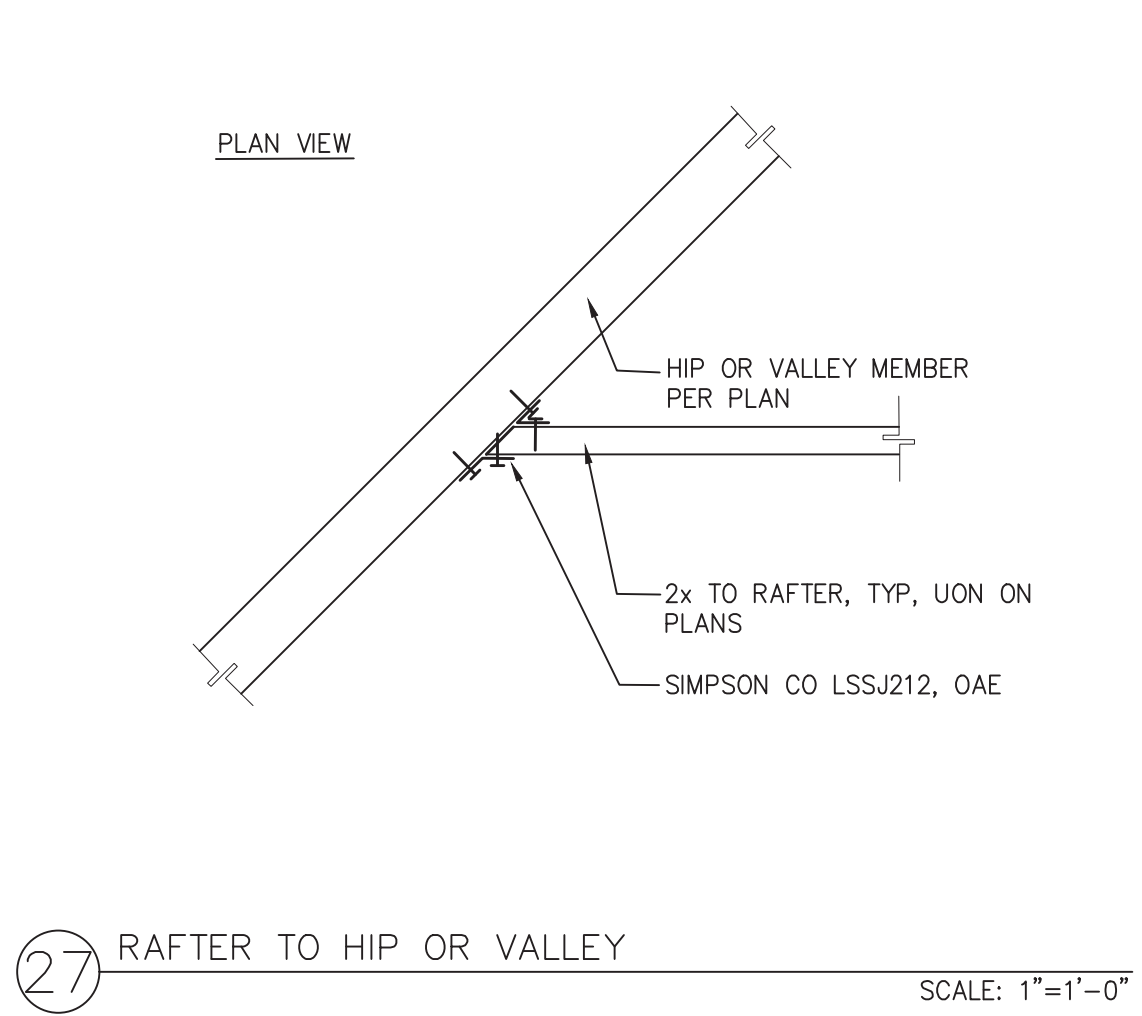
39 TRELLIS AT POST SCALE: 1"=1'-0"



31 INTERIOR BEARING WALL CONNECTION SCALE: 1"=1'-0"



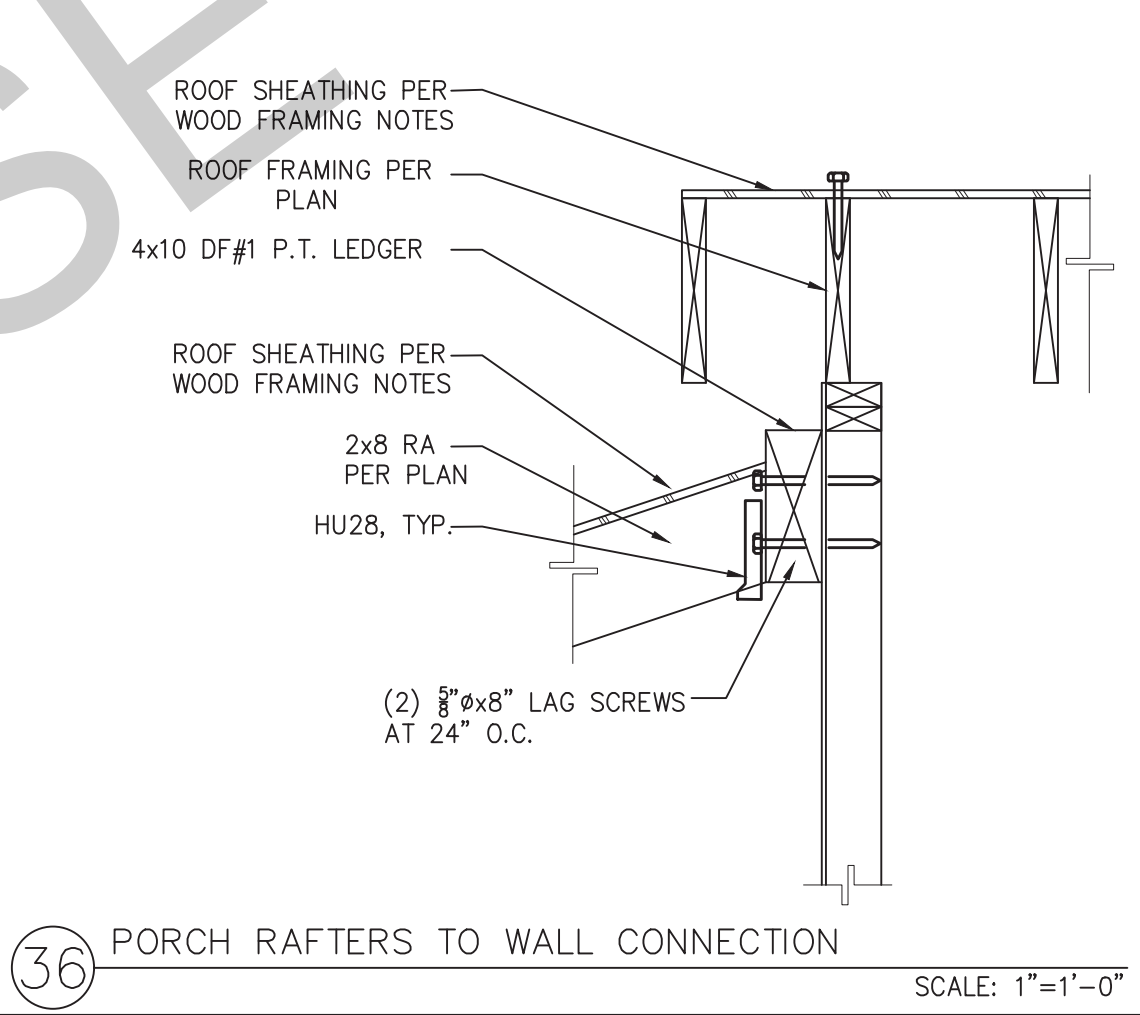
27 RAFTER TO HIP OR VALLEY SCALE: 1"=1'-0"



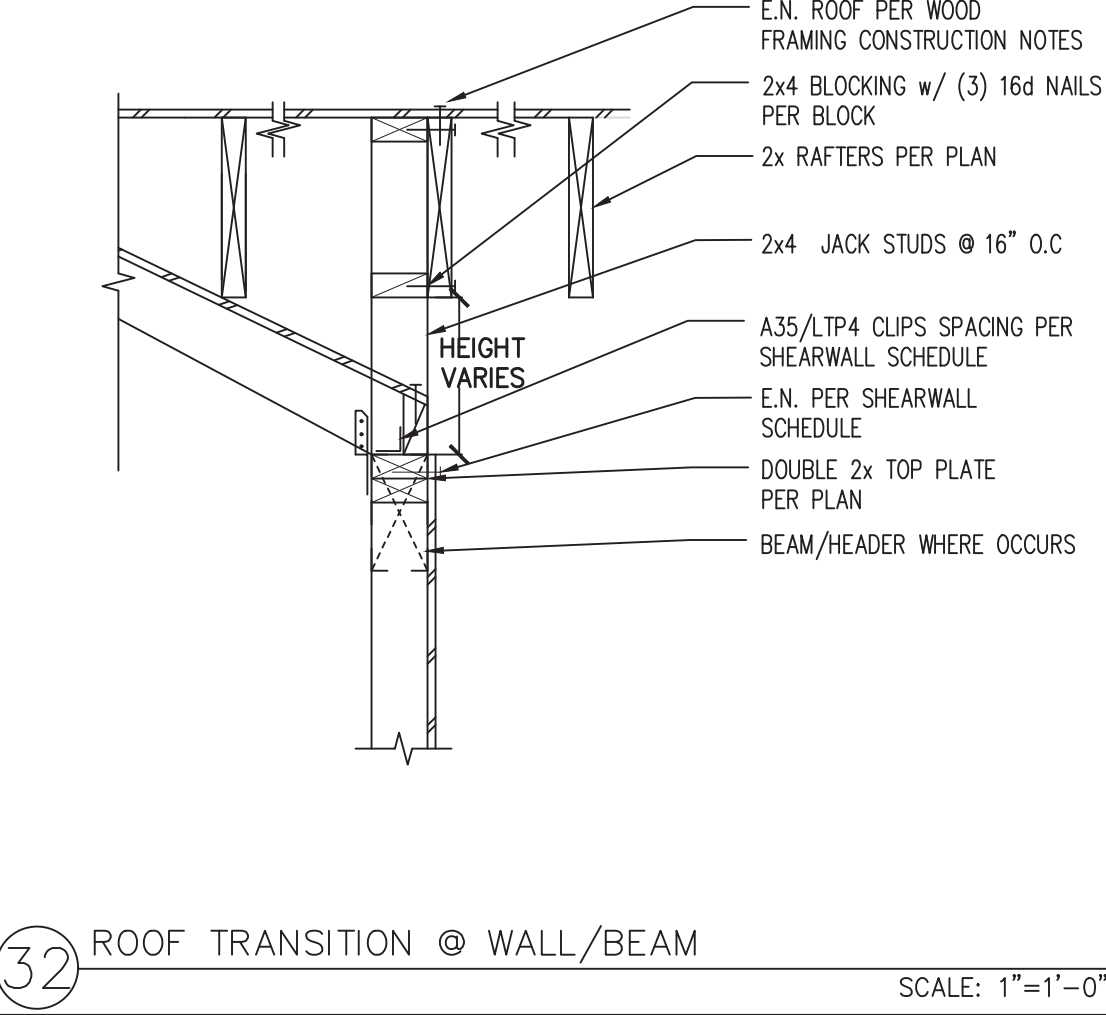
23 RAFTER AT RIDGE BOARD OVER RIDGE BEAM SCALE: 1"=1'-0"



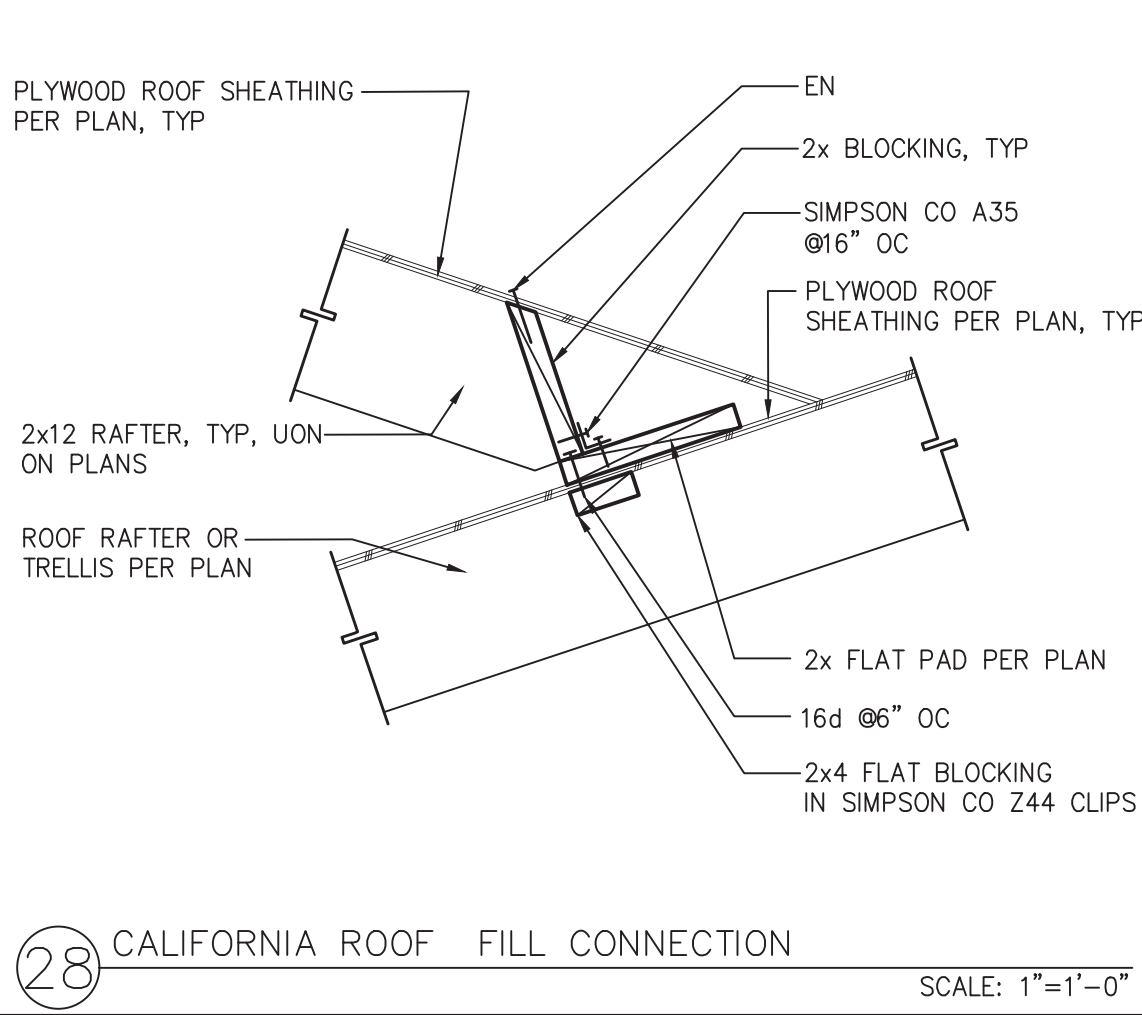
40 PORCH RAFTERS TO WALL CONNECTION SCALE: 1"=1'-0"



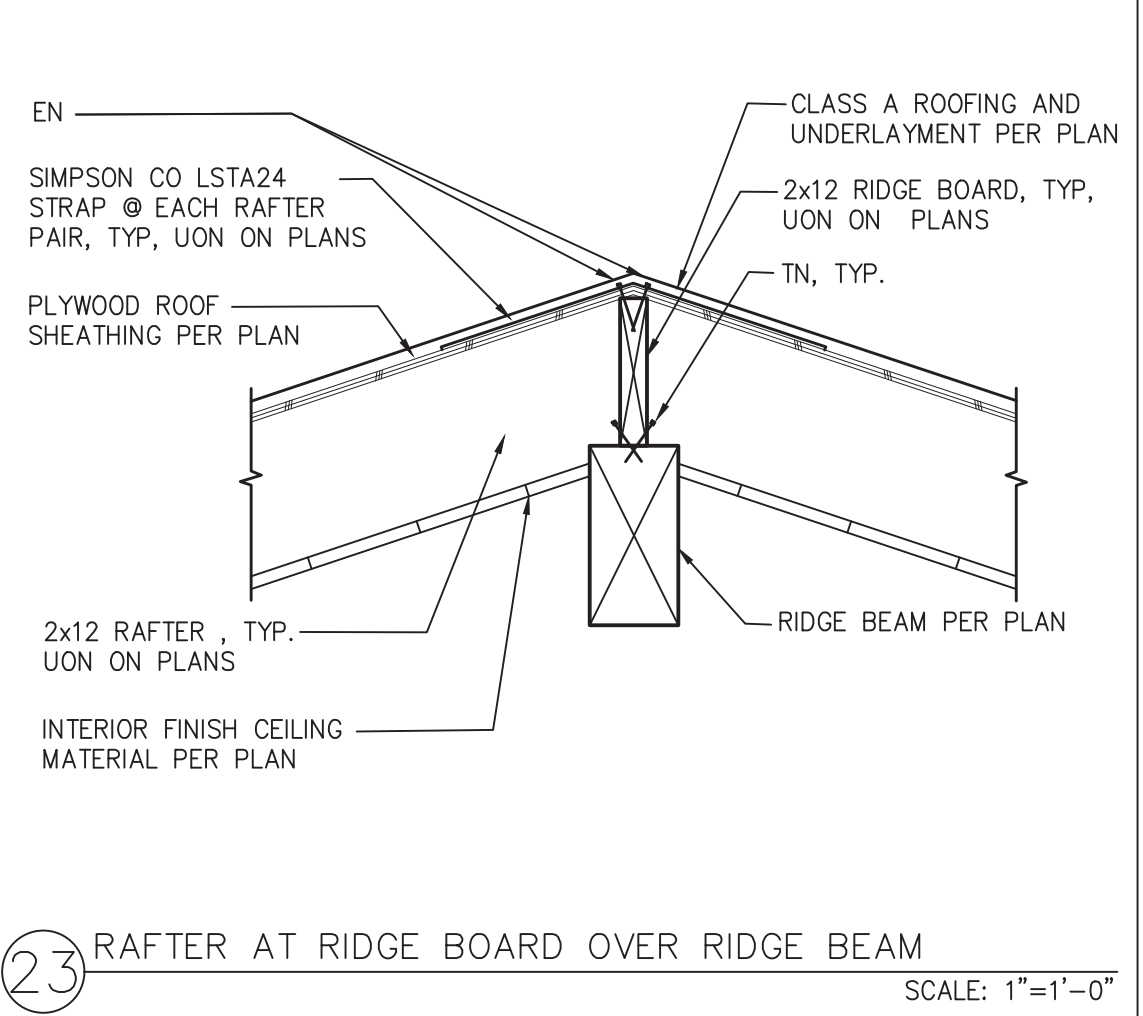
32 ROOF TRANSITION @ WALL/BEAM SCALE: 1"=1'-0"



28 CALIFORNIA ROOF FILL CONNECTION SCALE: 1"=1'-0"



24 RIDGE BOARD & BEAM AT WALL POST W/ HARDWARE SCALE: 1"=1'-0"



27 RAFTER TO HIP OR VALLEY SCALE: 1"=1'-0"

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project  
**City of Gonzales Pre-Approved ADU Plans**

revisions  
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description  
**Structural Details**

date  
September 2023

project no.

drawn by  
DESIGN PATH STUDIO

sheet no.  
**S7**







**2022 Single-Family Residential Mandatory Requirements Summary**

§ 100.0(a)	<b>Energy Storage System (ESS) Ready.</b> All single-family residences must meet all of the following. Either ESS-ready interconnection agreement with capacity of 60 amps or more and two or more ESS-supplied branch circuits, or a dedicated pathway from the main service to a subpanel that supplies the branch circuits in § 100.0(a), at least four branch circuits must be identified and have their source calculated as a single panelboard available to be supplied by the ESS, with two circuit equipping the refrigerator, one lighting circuit near the primary exit, and one circuit supplying a sleeping room receptacle outlet. Main panelboard must have a minimum busbar rating of 200 amps. All circuit breakers must be marked with the following information: (1) the name of the equipment manufacturer, (2) the name of the panelboard, with a revision number between the panelboard and the main location to allow for the connection of backup power source.
§ 100.0(b)	<b>Heat Pump Space Heater Ready.</b> Systems using gas or propane cooking to serve individual dwelling units must include a dedicated unswitched 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready," and a reserved main electrical service panel space to allow for the installation of a double-pole circuit breaker permanently marked as "For Future 240V Use."
§ 100.0(c)	<b>Electric Cooking Ready.</b> Systems using gas or propane cooking to serve individual dwelling units must include a dedicated unswitched 240V branch circuit wiring installed within 3' of the cooktop with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready," and a reserved main electrical service panel space to allow for the installation of a double-pole circuit breaker permanently marked as "For Future 240V Use."
§ 100.0(d)	<b>Electric Clothes Dryer Ready.</b> Clothes dryer locations with gas or propane plumbing to serve individual dwelling units must include a dedicated unswitched 240V branch circuit wiring installed within 3' of the dryer location with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready," and a reserved main electrical service panel space to allow for the installation of a double-pole circuit breaker permanently marked as "For Future 240V Use."

\*Exceptions may apply.

HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY						
Project Name: Gonzales ADU - 2 Bedroom Plan 2B 2023						Date: 7/7/2023
System Name: Ductless Mini Split						Year: 746
<b>ENGINEERING CHECKS</b>						
<b>SYSTEM LOAD</b>						
Number of Systems		1				
<b>COOLING PEAK</b>						
		CFM	Sensible	Latent	CFM	Sensible
<b>Heating System</b>						
Total Room Loads		394	6,453	247	301	12,031
Return Vented Lighting		0	0	0	0	0
Return Air Ducts		0	0	0	0	0
<b>Cooling System</b>						
Return Fan		0	0	0	0	0
Ventilation		0	0	0	0	0
Supply Fan		0	0	0	0	0
Supply Air Ducts		0	0	0	0	0
TOTAL SYSTEM LOAD		6,453	247			
<b>Air System</b>						
CFM per System		300	<b>HVAC EQUIPMENT SELECTION</b>			
Airflow (cda)		300	Filter/Acoustic	16,264	1,797	14,176
Airflow (cwhaft)		0.43				
Airflow (cfm/ft)		162.3				
Outside Air (ft)		0.075	Total Adjusted System Output	16,264	1,797	14,176
Outside Air (cwhaft)		0.02				
Note: when these values are Air conditions						
<b>HEATING SYSTEM PSYCHROMETRICS (Anstream Temperatures at Time of Heating Peak)</b>						
<b>COOLING SYSTEM PSYCHROMETRICS (Anstream Temperatures at Time of Cooling Peak)</b>						

9/622

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project

City of Gonzales  
Pre-Approved ADU  
Plans

revisions

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△  
△  
△  
△

description

Energy  
Calculations

date

September 2023

project no.

drawn by

DESIGN PATH STUDIO

sheet no.

T24.3