(ROOF COLOR OF ADU IS TO MATCH PRINCIPAL DWELLING UNIT

(TRIM COLOR OF ADU TO MATCH PRINCIPAL DWELLING UNIT TRIM)

CONCRETE TILE ROOF - EAGLE ROOF PRODUCTS INC. - IAMPO UES-ER 1900

ARCHITECTURAL GRADE SHINGLE - CERTAINTEED - ICC-ES-ESR-1389 & ESR-3537

DARK BRONZE

FLOOD ZONE

EMA FLOOD MAP

OTHER WINDOW COLOR

flood information:

HIS PROJECT IS NOT LOCATED IN A FLOOD ZONE

TRIM COLOR OF PRINCIPAL DWELLING

MINIMUM 2-1/2:12 ROOF SLOPE.

COLOR OF CONCRETE TILE ROOF

COLOR OF ARCHITECTURAL GRADE SHINGLES

OTHER ROOF MATERIAL / COLOR / ICC / UL

WOOD SHAKE - ICC ESR 2867 - MINIMUM 4:12 ROOF SLOPE.

X SELECTION(S)

STUCCO / COLOR

STONE VENEER / COLOR

FIBER CEMENT - SIDING / COLOR

EXTERIOR WALL COLOR OF PRINCIPAL DWELLING UNIT

(EXTERIOR WALL COLOR OF ADU IS TO MATCH PRINCIPAL DWELLING UNIT

DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS: I. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF GONZALES ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF GONZALES **building department. Building codes** DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJEC PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBL FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL. . THE RECIPIENT RECOGNIZES AND ACKNOWLEDGE T THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM AN' USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO 4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

City of Gonzales Pre-Approved ADL Plans

revisions

description

Title Sheet Plan 2B

September 2023

project no.

LENGTH) & OVEN

GAS CALCULATIONS

TOTAL GAS LOAD FOR HOUSEHOLD

APPLIANCES = 100,000 BTU/h 100 CFH

PIPE SIZE SCHEDULE 40 METALLIC PIPE 125' LENGTH

PER TABLE 1216.2(1) CALIFORNIA PLUMBING CODE

44 92 173 355 532 1,020

1¼" 1½"

NEW) OVEN & RANGE

DOES THE PROJECT ABUT SEVERE ASCENDING OR DESCENDING SLOPES EXCEEDING 35%?

DOES THE EXISTING DWELLING ON THE SITE HAVE A CONVENTIONAL FOUNDATION?

DOES THE EXISTING DWELLING FOUNDATION SHOW ANY SIGNS OF DISTRESS

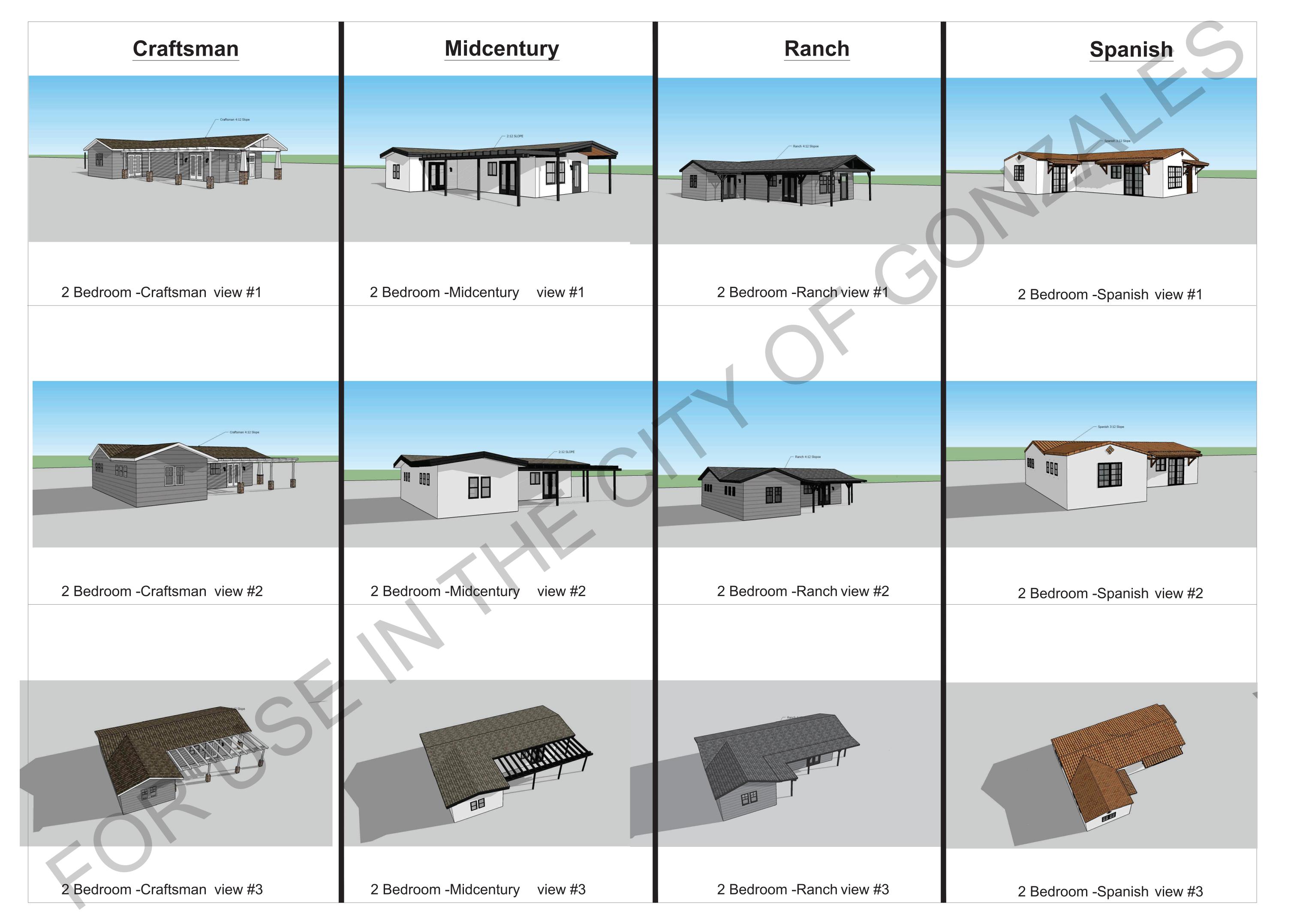
DOES THE PROJECT INCLUDE RETAINING WALLS?

ITEMS CHECKED IN SHADED BOXES ABOVE REQUIRE ADDITIONAL

INFORMATION TO ENSURE CODE COMPLIANCE

DOES THE SITE CONTAIN ANY KNOWN GEOTECHNICAL HAZARDS?

drawn by DESIGN PATH STUDIO



BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:

1. THE USE OF THIS INFORMATION IS
RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH
IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF GONZALES ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF GONZALES BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.

2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THE OR OF THE METHOD OF THE OR THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL WILL BE AT THE RECIPIENT'S RISK AND FULL
LEGAL RESPONSIBILITY. FURTHERMORE, THE
RECIPIENT WILL, TO THE FULLEST EXTENT
PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD
DESIGN PATH STUDIO AND ITS ARCHITECTS
HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS.

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO

projec

City of Gonzales Pre-Approved ADU Plans

revision

Exterior
Style
Options
2 Bedroom 2B

.

project no.

drawn by DESIGN PATH STUDIO

sheet no.

T1.2

• KEEP ALL CONSTRUCTION DEBRIS AWAY FROM THE STREET, GUTTER AND STORM DRAIN. LOOK FOR AND CLEAN UP MATERIAL THAT MAY HAVE TRAVELED AWAY FROM YOUR PROPERTY.

• KEEP MATERIALS OUT OF THE RAIN BY STORING THEM INDOORS OR OUTDOORS WITH A SECURE ROOF OR PLASTIC SHEETING.

• SCHEDULE GRADING AND EXCAVATION PROJECTS FOR DRY

• COVER EXCAVATED MATERIAL AND STOCKPILES OF ASPHALT AND SAND WITH PLASTIC TARPS.

 PREVENT EROSION BY PLANTING FAST-GROWING ANNUAL AND PERENNIAL GRASSES. THESE WILL SHIELD AND BIND SOIL

RECYCLING & HAZARDOUS WASTE DISPOSAL SUN STREET TRANSFER STATION SALINAS VALLEY SOLID WASTE AUTHORITY (831) 424-5520 139 SUN STREET

SALINAS, 93901

TO REPORT A SPILL, ILLEGAL DUMPING OR A CLOGGED STORM DRAIN CALL:
(831) 758-7233

CITY OF SALINAS
DEPARTMENT OF PUBLIC WORKS
MAINTENANCE DIVISION

FOR MORE INFORMATION ABOUT STORM DRAIN PROTECTION CALL: (831) 758-7233

## WATER POLLUTION PREVENTION

ONLY "RAIN" IS ALLOWED IN OUR STORM DRAIN SYSTEM. RAIN, INDUSTRIAL AND HOUSEHOLD WATER MIXED WITH URBAN POLLUTANTS CREATES STORMWATER POLLUTION. THE POLLUTANTS INCLUDE:

URBAN RUNOFF POLLUTION (OIL AND OTHER AUTOMOTIVE FLUIDS, PAINT AND CONSTRUCTION DEBRIS, YARD AND PETWASTES, PESTICIDES AND LITTER).

• FLOWS THROUGH THE STORM DRAIN TO THE SALINAS RIVER AND THE RECLAMATION DITCH THAT TAKES WATER AND DEBRIS STRAIGHT FROM SALINAS STREETS TO THE MONTEREY BAY MARINE SANCTUARY.

• CONTAMINATES OUR RIVERS AND DITCHES, HARMS AQUATIC LIFE AND INCREASES THE RISK OF FLOODING BY CLOGGING GUTTERS AND CATCH BASINS.

• OIL AND GREASE, FOR EXAMPLE, CLOG FISH GILLS AND BLOCK OXYGEN FROM ENTERING THE WATER. IF OXYGEN LEVELS IN THE WATER BECOME TOO LOW, AQUATIC ANIMALS MAY BE HARMED AND/OR DIE.

## HOUSEHOLD HAZARDOUS WASTE DISPOSAL

• HOUSEHOLD TOXICS—SUCH AS COMMON HOUSEHOLD CLEANERS, PAINT PRODUCTS AND MOTOR OIL—CAN POLLUTE OUR RIVERS AND POISON THE GROUNDWATER IF NOT DISPOSED OF AS HAZARDOUS WASTE.

• TAKE YOUR HOUSEHOLD CHEMICALS AND TOXICS TO THE LOCAL HOUSEHOLD HAZARDOUS WASTE FACILITY.

#### **CONCRETE & MASONRY**

FRESH CONCRETE AND MORTAR APPLICATION MATERIALS CAN WASH DOWN OR BLOW INTO THE STREET, GUTTER OR STORM DRAIN

• DO NOT MIX UP MORE FRESH CONCRETE OR CEMENT THAN YOU WILL USE.

• STORE BAGS OF CEMENT AND PLASTER UNDER COVER. PROTECT THESE MATERIALS FROM RAINFALL, RUNOFF AND WIND, AWAY FROM GUTTERS AND STORM DRAINS.

• NEVER DISPOSE OF CEMENT WASHOUT OR CONCRETE DUST ONTO DRIVEWAYS, STREETS, GUTTERS OR STORM DRAINS.

#### **PAINTING**

PAINTS AND SOLVENTS CONTAIN CHEMICALS THAT ARE HARMFUL TO AQUATIC LIFE. TOXIC CHEMICALS CAN COME FROM LIQUID OR SOLID PRODUCTS OR FROM CLEANING RESIDUES ON RAGS. IT IS ESPECIALLY IMPORTANT TO PREVENT THESE CHEMICALS FROM ENTERING STORM DRAINS.

#### PAINT CLEANUP

• NEVER CLEAN BRUSHES OR RINSE PAINT CONTAINERS INTO A STREET, GUTTER OR STORM DRAIN.

• FOR OIL-BASED PAINTS, PAINT OUT BRUSHES TO THE EXTENT POSSIBLE. CLEAN WITH THINNER AND THEN FILTER AND REUSE THINNER.

• FOR WATER-BASED PAINTS, PAINT OUT BRUSHES TO THE EXTENT POSSIBLE, THEN RINSE IN THE SINK.

• WHEN THOROUGHLY DRY, USED BRUSHES, EMPTY PAINT CANS (LIDS OFF), RAGS AND DROP CLOTHS MAY BE DISPOSED OF AS TRASH

#### PAINT REMOVAL

• CHEMICAL PAINT STRIPPING RESIDUE, INCLUDING SATURATED RAGS, IS A HAZARDOUS WASTE AND SHOULD BE TAKEN TO A HOUSEHOLD HAZARDOUS WASTE COLLECTION EVENT.

• CHIPS AND DUST FROM MARINE PAINTS OR PAINTS CONTAINING LEAD OR TRIBUTYL TIN ARE ALSO HAZARDOUS WASTES. SWEEP THEM UP AND SAVE THEM FOR A HAZARDOUS WASTE COLLECTION EVENT.

#### PAINT RECYCLING

• REUSE LEFTOVER PAINT FOR TOUCH-UPS OR RECYCLE IT AT A LOCAL HOUSEHOLD HAZARDOUS WASTE COLLECTION EVENT

## LANDSCAPING & GARDENING

• INTENSIVE GARDENING AND LANDSCAPING INCREASE THE LIKELIHOOD THAT GARDEN CHEMICALS AND SOIL WILL WASH INTO STORM DRAINS. PESTICIDES AND HERBICIDES NOT ONLY KILL GARDEN INVADERS, THEY ALSO HARM INSECTS, POISON FISH AND CONTAMINATE GROUND AND RIVER

• USE ORGANIC OR NON-TOXIC FERTILIZERS AND PESTICIDES. DO NOT FERTILIZE OR USE GUTTERS OR STORM DRAINS.

• STORE PESTICIDES, FERTILIZERS AND CHEMICALS IN A COVERED AREA TO PREVENT RUNOFF.

• DO NOT BLOW, SWEEP, HOSE OR RAKE LEAVES INTO THE STREET, GUTTER OR STORM DRAIN.

• PLACE CLIPPINGS AND PRUNING WASTE IN APPROVED CONTAINERS FOR PICK UP.

• CONSERVE WATER BY USING DRIP IRRIGATION, SOAKER HOSES OR MICRO-SPRAY SYSTEMS.

## CONSTRUCTION SITE BEST MANAGEMENT PRACTICES

THE FOLLOWING BMPs MUST BE PROPERLY USED AT ALL CONSTRUCTION SITES TO PROTECT STORM DRAINS AND MINIMIZE POLLU-

The City of Salinas Stormwater Management Program prohibits pollutant discharges at work sites from flowing into storm drains and polluting neighborhood creeks, rivers, and the ocean. To comply with the law and keep your project on schedule, make sure proper BMPs are in place and functioning. Sites must be checked and maintained daily. The following BMPs are required; they are not all-inclusive.

#### PAINT AND STUCCO -

All paint and stucco material stored on the site must be contained and covered. It is illegal to dump unused paint or stucco in the sewer or storm drain system. Do not wash out brushes in the street or dump any residues in the storm drain. Paint brushes and spray guns must be washed/cleaned out into a hazardous materials drum or back into the original container and disposed of properly.

#### Perimeter Controls •

Gravel bags, silt fences and straw wattles (weighted down) are acceptable perimeter controls, and must be used to surround the entire site. Avoid running over perimeter controls with vehicles or heavy equipment as they can damage the materials. Keep extra absorbent materials and/or wet-dry vacuum on site to quickly pick up unintended spills.

## BUILDING MATERIALS/STAGING AREAS

Construction material must be stored on site at all times. Building materials should always be covered when not in use to prevent runoff caused by wind or rain. Flooding must also be prevented by monitoring the site before, during, and after rain events to ensure that BMPs are functioning and that there are no safety issues.

#### TRAFFIC CONTROL PERMITS •

Prior to staging any materials or equipment in the right-of-way (such as dumpsters or trucks), please contact the applicable local jurisdiction to learn of any temporary encroachment permit or traffic control requirements necessary for right-of-way staging and loading areas, applicable stormwater BIVIPs and safety plan review requirements. Provide a stabilized vehicle path with controlled access to prevent tracking of dirt offsite. Properly size site entrance BIVIPs for anticipated vehicles.

#### DUMPSTERS •

Always cover dumpsters with a rollback tarp. Areas around dumpsters should be swept daily. Perimeter controls around dumpster areas should be provided if pollutants are leaking or discharging from the dumpster.

CONCRETE TRUCKS / PUMPERS / FINISHERS

BMPs such as tarps and gravel bags should be implemented to prevent materials and residue from entering into the storm drain system.

#### → Washout Area

The disposal of "wet" construction materials should be handled in the washout area. This includes paint, stucco, and concrete. Use a berm with an impervious liner to contain wet materials and prevent runoff in nearby areas. The washout area must be checked and maintained daily to ensure compliance. All dried materials must be disposed of at the landfill.

## →DIRT AND GRADING

Mounds of dirt or gravel should be stored on site and sprayed daily with water to prevent excessive dust. During the rainy season (October 15th—April 15th) these materials should be covered. For those areas that are active and exposed, a wet weather triggered action plan including additional BIVIPs should be in place to protect the site during a rain event. Sites must have adequate tracking control to prevent the transport of dirt/gravel from the site.

## - EARTHMOVING EQUIPMENT

All earthmoving equipment should be stored on site. Maintenance of any equipment should be conducted on site, and mud tracks and dirt trails left by equipment leading to and from the site should be deaned up immediately.

#### → STORM DRAINS

Storm drains must be protected at all times with perimeter controls, such as gravel bags. Sand bags are typically not used for inlet protection because they do not permit flow-through. Replace ruptured or damaged gravel bags and remove the debris from the right-of-way immediately.

Protecting water resources improves and preserves quality of life for our children and future generations.

Questions? Contact the City of Salinas Public Works Department 831-758-7988 or 831-758-7251

भी का राजिता है जाता है जा के के अपन

Photo courtesy of the City of San Diego

City's Right-of-Way

90000

IT WAS PREPARED FOR THE PERMIT READY
ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR
THE CITY OF GONZALES ONLY. THIS IS A LIMITED
SET OF STANDARDIZED ADU PLANS AND
SPECIFICATIONS APPROVED BY THE CITY OF
GONZALES BUILDING DEPARTMENT. BUILDING CODES
DO CHANGE OVER TIME AND RECIPIENT SHALL
ENSURE FULL COMPLIANCE UNDER ALL CODES
THEN IN EFFECT AT THE TIME OF THE SUBJECT

FOLLOWING CONDITIONS:

DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.

2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR

LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO

WARRANTIES OF ANY NATURE, WHETHER EXPRESS

BY USING THESE PERMIT READY CONSTRUCTION

RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH

DOCUMENTS, THE RECIPIENT ACKNOWLEDGES,

ACCEPTS AND VOLUNTARILY AFFIRMS THE

. THE USE OF THIS INFORMATION IS

OR IMPLIED. SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL EGAL RESPONSIBILITY. FURTHERMORE, THI RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS NDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.

4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

proje

City of Gonzales
Pre-Approved ADU
Plans

revisions

description

# Site & BMP Information

te September 2023

project no.

drawn by DESIGN PATH STUDIO

AS.1

### **GENERAL NOTES**

SEE BUILDING PLANS FOR ALL OTHER DIMENSIONS AND NOTES NOT SHOWN.

2. SEE BUILDING PLANS AND SCHEDULES FOR ALL

- EXTERIOR DOOR AND WINDOW REFERENCES AND LOCATIONS.

  3. YARD SETBACKS ARE TO BE MEASURED FROM THE EXTERIOR WALL FINISH TO THE PROPERTY LINE AND NOT FROM THE OUTSIDE OF THE FOOTING (OR FACE OF STUDS). THE PLANS MUST BE DESIGNED WITH 9. THE WALL FINISH THICKNESS (I.E. 7/8" STUCCO, ETC.) ADDED TO THE PLAN FOR THE SETBACK
- FOUNDATION SETBACK.

  11.

  4. NEW ELECTRIC SERVICE IS TO BE LOCATED POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE

MEASUREMENT. THE FIELD INSPECTOR WILL ADD

THE PLANNED WALL FINISH THICKNESS TO THE

- REVIEWS AND PERMITS

  5. LANDSCAPE AND IRRIGATION WATER USE SHALL HAVE WEATHER OR SOIL BASED CONTROLLERS

  6. NOT USED
- CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS
  DEEPER THAN 5' AND SHORING AND UNDERPINNING.
   A DIMENSIONED SITE PLAN DRAWN TO SCALE SHALL
  BE PROVIDED SHOWING THE FOLLOWING:

NORTH ARROW, PROPERTY LINES,
EASEMENTS, STREETS, EXISTING AND PROPOSED

EASEMENTS, STREETS, EXISTING AND PROPOSED
BUILDINGS, AND STRUCTURES, LOCATION OF YARDS
USED FOR ALLOWABLE INCREASE OF BUILDING AREA,
DIMENSIONED SETBACKS, MINIMUM SEPARATION
FROM EXISTING STRUCTURES AND FUEL
MODIFICATION ZONES PER UNIFORM

ADMINISTRATIVE CODE SECTION 302.

IF A GRADING PLAN IS REQUIRED, INCORPORATE THE ENTIRE APPROVED GRADING PLAN/IMPROVEMENT PLAN (ALL SHEETS) WITH THE BUILDING PLANS.

PROJECTIONS, INCLUDING EAVES, MUST BE AT LEAST 24" FROM PROPERTY LINES.

LEAST 24" FROM PROPERTY LINES.

11. NEW RESIDENTIAL DEVELOPMENTS WITH AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQ FT SHALL COMPLY WITH THE MODERN WATER EFFICIENT LANDSCAPE ORDINANCE.

12. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

#### **DIVISION 2 - SITEWORK**

4. SHORING IS TO BE PROVIDE AS REQUIRED

1. SITE PREPARATION
PROJECT IS TO BE STAKED OUT FOR OWNER APPROVAL BEFORE FOR EARTHWORK IS TO
BEGIN

2. SITE CLEARING OWNER/CONTRACTOR WILL VERIFY ALL PLANTING TO BE REMOVED PRIOR TO STARTING WORK.

3. LINES AND LEVELS
THE CONTRACTOR WILL VISIT THE SITE AND EVALUATE GRADE CONDITION. FOR BIDDING PURPOSES, THE OWNER/CONTRACTOR WILL CALCULATE HIS OWN CUT AND FILL QUANTITIES BASED ON THE SITE PLAN.

5. EARTH WORK
a. REMOVE AND RECOMPACT LOOSE TOPSOIL AND SLIGHTLY ALTER THE EXISTING
TOPOGRAPHY. ALL GRADING SHOULD BE PERFORMED IN ACCORDANCE WITH THE CITY OF
SALINAS GRADING ORDINANCE

AREA PRIOR TO EXCAVATION.

c. UNLESS OTHERWISE INDICATED ON THE DRAWINGS, ALL FINISH GRADES ARE TO SLOPE AWAY FROM THE BUILDING AND EXTERIOR PAVING 1/4" PER FOOT MINIMUM FOR A MINIMUM DISTANCE OF 5'-0". LOT DRAINAGE TO AVOID POOLING AT BUILDING.

b. THE OWNER/CONTRACTOR IS TO VERIFY THE LOCATION OF UTILITY SERVICE IN THE

#### **KEYNOTES GENERAL NOTES LOT SIZE & IMPERVIOUS AREA GRADING INFORMATION: LEGEND** 1 LINE OF EXTERIOR WALL, TYP. 12 WASTE BIN STORAGE SPOT DIMENSIONS INDICATE ESTIMATED GRADE HEIGHTS. VERIFY IN **EARTHWORK QUANTITIES:** FIELD PRIOR TO CONSTRUCTION. (EXISTING BUILDING FOOTPRINT, PATIO, DECKS, HARDSCAPE, ETC.) KEYNOTE 13 DOWNSPOUTS & SPLASH PADS 2. SEE BUILDING PLANS FOR ALL OTHER DIMENSIONS AND NOTES NOT 2 LINE OF ROOF OVERHANG / DECK / AWNING / STRUCTURE \_\_\_\_ CUBIC YARDS CUT SPOT GRADE ELEVATION TOTAL AREA OF EXISTING IMPERVIOUS SURFACES: — · — · PROPERTY LINE SEE BUILDING PLANS AND SCHEDULES FOR ALL EXTERIOR DOOR AND (EXISTING BUILDING FOOTPRINT, PATIO, DECKS, HARDSCAPE, ETC.) \_\_\_\_ CUBIC YARDS FILL AREA OF NEW WINDOW REFERENCES AND LOCATIONS. 3 REQUIRED SETBACKS **BUILDING FOOTPRINT** YARD SETBACKS ARE TO BE MEASURED FROM THE EXTERIOR WALL FINISH — — — — REQUIRED SETBACKS TOTAL AREA OF NEW IMPERVIOUS SURFACES: \_ CUBIC YARDS IMPORTED/EXPORTED 4 PROPERTY LINE, TYP. TO THE PROPERTY LINE AND NOT FROM THE OUTSIDE OF THE FOOTING (INCREASE TO BUILDING FOOTPRINT, PATIO, DECKS, HARDSCAPE, ETC.) (OR FACE OF STUDS). DRAINAGE PATTERN \_\_\_\_ CUBIC YARDS OVER-EXCAVATED AND RE-COMPACTED 5 FENCE- HEIGHT PER PLAN OWNER/CONTRACTOR TO REVIEW PLANS TO AVOID CONFLICTS WITH TOTAL AREA OF REPLACES IMPERVIOUS SURFACES: AREA OF EXISTING UTILITIES, I.E. METER LOCATIONS, ELECTRIC TRANSFORMER, BACKFLOW (REPLACEMENT TO BUILDING FOOTPRINT, PATIO, DECKS, HARDSCAPE, ETC.) 6 EXISTING GAS METER BUILDING FOOTPRINT EXISTING CONTOURS \_\_\_\_ TOTAL CUBIC YARD OF EARTHWORK PREVENTERS, SEWER LINES AND ELECTRIC CONDUIT (POLE LIGHTNING AT 7 EXISTING WATER METER DRIVEWAY), ETC. OWNER/CONTRACTOR TO VERIFY ALL CONDITIONS AND UTILITY 8 EXISTING ELECTRIC METER. CONCRETE LOCATIONS AND IS RESPONSIBLE FOR LOCATING UTILITIES NOT SHOWN **FLOOD INFORMATION: UTILITIES PROVIDERS:** — NEW DOMESTIC WATER LINE ON THE DRAWINGS 9 CONDENSING UNIT OWNER/CONTRACTOR TO AVOID DISTURBING OR DAMAGING EXISTING — E NEW ELECTRICAL & TEL DATA LINE UTILITIES. 10 SURFACE WATER IS TO DRAIN 3. CALL BEFORE YOU DIG OR CAUSE ANY GROUND DISTURBANCES FEMA FLOOD MAP AWAY FROM BUILDING, GRADE — NEW GAS LINE SHALL FALL A MIN. OF 6" WITHIN THE FIRST 10 FEET - ELECTRIC: — <del>FS</del> — LATERAL FOR FIRE SPRINKLERS FLOOD ZONE 11 FEEDER TO EXTEND TO X X NEW OR EXISTING FENCE EXISTING PANEL - WATER: TO COMPLY WITH ZONING **CODE SECTION 37-50.090**

- SEWER:

drcnitecture + pidnning

BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF GONZALES ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF GONZALES BUILDING DEPARTMENT. BUILDING CODES OO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.

2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES HAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR

CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN

3. THE DESIGNS REPRESENTED BY THESE PLANS

4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

PATH STUDIO OR ITS ARCHITECTS.

ARE COPYRIGHTED AND ARE SUBJECT TO

project

City of Gonzales
Pre-Approved ADU
Plans

revisions

A

description **Fxample** 

Example Site Plan

e September 2023

project no.

drawn by DESIGN PATH STUDIO

sheet no.

AS.2

FOLLOWING CONDITIONS:

BY USING THESE PERMIT READY CONSTRUCTION

RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH

DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE

IT WAS PREPARED FOR THE PERMIT READY

THE USE OF THIS INFORMATION IS

RESPON. DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

by or before the dates specified in those sections, as shown in Table 4.504.5

1. Product certifications and specifications.

CCR, Title 17, Section 93120, et seq.).

California Residential Code, Chapter 5, shall also comply with this section.

2. Chain of custody certifications.

4.505 INTERIOR MOISTURE CONTROL

found in Section 101.8 of this code.

4.506 INDOOR AIR QUALITY AND EXHAUST

integral (i.e., built-in)

**4.507 ENVIRONMENTAL COMFORT** 

acceptable

**CHAPTER 7** 

**702 QUALIFICATIONS** 

State certified apprenticeship programs.

4. Programs sponsored by manufacturing organizations.

performance contractors, and home energy auditors.

4. Other programs acceptable to the enforcing agency.

project they are inspecting for compliance with this code.

the appropriate section or identified applicable checklist.

**703 VERIFICATIONS** 

5. Other programs acceptable to the enforcing agency.

Public utility training programs.

sized, designed and have their equipment selected using the following methods:

ASHRAE handbooks or other equivalent design software or methods.

Equipment Selection), or other equivalent design software or methods.

recommendations prior to enclosure.

**4.504.5 COMPOSITE WOOD PRODUCTS.** Hardwood plywood, particleboard and medium density fiberboard

formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.),

**4.504.5.1 Documentation.** Verification of compliance with this section shall be provided as requested

3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see

4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered

Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA

A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with

a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding,

shrinkage, and curling, shall be used. For additional information, see American Concrete Institute,

composite wood products used on the interior or exterior of the buildings shall meet the requirements for

by the enforcing agency. Documentation shall include at least one of the following:

4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.

**4.505.2 CONCRETE SLAB FOUNDATIONS.** Concrete slab foundations required to have a vapor retarder by

California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent

moisture verification methods may be approved by the enforcing agency and shall satisfy requirements

shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent

enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.

**4.506.1 Bathroom exhaust fans.** Each bathroom shall be mechanically ventilated and shall comply with the

2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a

a. Humidity controls shall be capable of adjustment between a relative humidity range less than or

b. A humidity control may be a separate component to the exhaust fan and is not required to be

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or

AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be

2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential

2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems).

3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential

**Exception:** Use of alternate design temperatures necessary to ensure the system functions are

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper

Examples of acceptable HVAC training and certification programs include but are not limited to the following:

installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the

considered by the enforcing agency when evaluating the qualifications of a special inspector:

project they are inspecting for compliance with this code.

shall be closely related to the primary job function, as determined by the local agency.

1. Certification by a national or regional green building program or standard publisher.

3. Successful completion of a third party apprentice training program in the appropriate trade.

homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall

this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the

employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with

particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a

recognized state, national or international association, as determined by the local agency. The area of certification

**Note:** Special inspectors shall be independent entities with no financial interest in the materials or the

**703.1 DOCUMENTATION.** Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other

documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in

methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific

responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or

other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence

to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be

2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building

1. Special inspectors shall be independent entities with no financial interest in the materials or the

2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate

certification program. Uncertified persons may perform HVAC installations when under the direct supervision and

responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems.

Training programs sponsored by trade, labor or statewide energy consulting or verification organizations

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

Load Calculation), ASHRAE handbooks or other equivalent design software or methods.

0121, CSA 0151, CSA 0153 and CSA 0325 standards.

2. Other equivalent methods approved by the enforcing agency.

3. A slab design specified by a licensed design professional.

moisture content. Moisture content shall be verified in compliance with the following:

5. Other methods acceptable to the enforcing agency.

ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF GONZALES ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF GONZALES BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE 3. At least three random moisture readings shall be performed on wall and floor framing with documentation RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS, DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY, FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS. 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO 4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

> City of Gonzales Pre-Approved ADU

project

revisions

description

September 2023

project no.

drawn by DESIGN PATH STUDIO

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023) 4. Public transportation and/or carpool options available in the area. Educational material on the positive impacts of an interior relative humidity between 30-60 percent 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall and what methods an occupant may use to maintain the relative humidity level in that range. not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall 6. Information about water-conserving landscape and irrigation design and controllers which conserve not be less than 0.8 gallons per minute at 20 psi. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. - NOT USED feet away from the foundation **301.1 SCOPE.** Buildings shall be designed to include the green building measures specified as mandatory in 8. Information on required routine maintenance measures, including, but not limited to, caulking, the application checklists contained in this code. Voluntary green building measures are also included in the 4.303.1.4.3 Metering Faucets. - NOT USED painting, grading around the building, etc. application checklists and may be included in the design and construction of structures covered by this code, Information about state solar energy and incentive programs available. but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons 10. A copy of all special inspections verifications required by the enforcing agency or this code. per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per space around residential structures. additions or alterations of existing residential buildings where the addition or alteration increases the 12. Information and/or drawings identifying the location of grab bar reinforcements. building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration. Note: Where complying faucets are unavailable, aerators or other means may be used to achieve **4.410.2 RECYCLING BY OCCUPANTS.** Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.303.1.4.5 Pre-rinse spray valves. - NOT USED corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive. 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing **Exception:** Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section lighting fixtures are not considered alterations for the purpose of this section. 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of 4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. 1701.1 of the California Plumbing Code. **DIVISION 4.5 ENVIRONMENTAL QUALITY** Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1 **SECTION 4.501 GENERAL** et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER. The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. TABLE - MAXIMUM FIXTURE WATER USE 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] - NOT USED **SECTION 4.502 DEFINITIONS FLOW RATE FIXTURE TYPE SECTION 302 MIXED OCCUPANCY BUILDINGS** 5.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference) 1.8 GMP @ 80 PSI SHOWER HEADS (RESIDENTIAL) **302.1 MIXED OCCUPANCY BUILDINGS. - NOT USED** AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements. **DIVISION 4.1 PLANNING AND DESIGN** LAVATORY FAUCETS (RESIDENTIAL) COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and LAVATORY FAUCETS IN COMMON & PUBLIC 0.5 GPM @ 60 PSI medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, Department of Housing and Community Development USE AREAS structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated California Building Standards Commission wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section KITCHEN FAUCETS 1.8 GPM @ 60 PSI Division of the State Architect, Structural Safety METERING FAUCETS 0.2 GAL/CYCLE DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for WATER CLOSET 1.28 GAL/FLUSH combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere. 0.125 GAL/FLUSH URINALS MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O<sup>3</sup>/g ROC). 4.304 OUTDOOR WATER USE Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood. Efficient Landscape Ordinance (MWELO), whichever is more stringent. PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging). 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a). Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/ REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere. DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE **VOC.** A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain **EFFICIENCY** hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a). 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE 4.503 FIREPLACES 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in **4.503.1 GENERAL**. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances. 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING

**4.408.1 CONSTRUCTION WASTE MANAGEMENT.** Recycle and/or salvage for reuse a minimum of 65 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste

1. Excavated soil and land-clearing debris.

. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably

3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling,

2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or

3. Identify diversion facilities where the construction and demolition waste material collected will be

4. Identify construction methods employed to reduce the amount of construction and demolition waste

y weight or volume, but not by both.

lition waste material diverted from the landfill complies with Section 4.408.1.

materials will be diverted by a waste management company.

compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4...

1. Sample forms found in "A Guide to the California Green Building Standards Code

2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

following shall be placed in the building:

life cycle of the structure. 2. Operation and maintenance instructions for the following:

photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment. b. Roof and yard drainage, including gutters and downspouts.

c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems.

hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

e. Water reuse systems. . Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING VERIFICATION WITH THE FULL CODE.

Office of Statewide Health Planning and Development OSHPD Low Rise High Rise Additions and Alterations CHAPTER 4 RESIDENTIAL MANDATORY MEASURES **SECTION 4.102 DEFINITIONS** 4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference) FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water. WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls. **4.106.1 GENERAL.** Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section. 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site. 1. Retention basins of sufficient size shall be utilized to retain storm water on the site. 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency. 3. Compliance with a lawfully enacted storm water management ordinance. **Note:** Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water\_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater **Exception**: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. - NOT USED 4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. - NOT USED 4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings. - NOT USED DIVISION 4.2 ENERGY EFFICIENCY

**4.201.1 SCOPE.** For the purposes of mandatory energy efficiency standards in this code, the California Energy

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and

urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3,

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving

**4.303.1.1 Water Closets.** The effective flush volume of all water closets shall not exceed 1.28 gallons per

flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense

plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final

completion, certificate of occupancy, or final permit approval by the local building department. See Civil

Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume

**4.303.1.3.1 Single Showerhead.** Showerheads shall have a maximum flow rate of not more than 1.8

gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one

a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only

showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by

**CHAPTER 3** 

**GREEN BUILDING** 

**SECTION 301 GENERAL** 

4.106.4.3 for application.

other important enactment dates.

**ABBREVIATION DEFINITIONS:** 

**4.201 GENERAL** 

Commission will continue to adopt mandatory standards.

buildings affected and other important enactment dates.

of two reduced flushes and one full flush.

WaterSense Specification for Showerheads.

allow one shower outlet to be in operation at a time.

**Note**: A hand-held shower shall be considered a showerhead.

4.303 INDOOR WATER USE

Specification for Tank-type Toilets.

**4.303.1.2 Urinals.** - NOT USED

4.303.1.3 Showerheads

percent of the non-hazardous construction and demolition waste in accordance with either Section

management ordinance. **Exceptions:** 

in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

reuse on the project or salvage for future use or sale.

bulk mixed (single stream).

Specify that the amount of construction and demolition waste materials diverted shall be calculated

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and

Note: The owner or contractor may make the determination if the construction and demolition waste

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in

**4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE.** Projects that generate a total combined

weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates

(Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.

4.410 BUILDING MAINTENANCE AND OPERATION 4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact

Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January (Emission testing method for California Specification 01350) disc, web-based reference or other media acceptable to the enforcing agency which includes all of the See California Department of Public Health's website for certification programs and testing labs.

1. Directions to the owner or occupant that the manual shall remain with the building throughout the https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx. 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1. a. Equipment and appliances, including water-saving devices and systems, HVAC systems,

**4.504.4 RESILIENT FLOORING SYSTEMS.** Where resilient flooring is installed , at least 80% of floor area

receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

reduce the amount of water, dust or debris which may enter the system.

commencing with section 94507.

Manufacturer's product specification. 2. Field verification of on-site product containers.

testing method for California Specification 01350)

management district rules apply:

Table 4.504.3 shall apply.

startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component

openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks

Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic

2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in

prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17,

**4.504.2.2 Paints and Coatings.** Architectural paints and coatings shall comply with VOC limits in Table 1 of

the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits

apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories

coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources

listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss

Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR

Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air

Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation

Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic

**4.504.2.4 Verification.** Verification of compliance with this section shall be provided at the request of the

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the

California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic

Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission

**4.504.3.1 Carpet cushion.** All carpet cushion installed in the building interior shall meet the requirements of

the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic

enforcing agency. Documentation may include, but is not limited to, the following:

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of

compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and

tricloroethylene), except for aerosol products, as specified in Subsection 2 below.

shall comply with local or regional air pollution control or air quality management district rules where

units of product, less packaging, which do not weigh more than 1 pound and do not consist of more

than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including

applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable.

requirements of the following standards unless more stringent local or regional air pollution or air quality

See California Department of Public Health's website for certification programs and testing labs

#### DO NOT SCALE THE DRAWING, USE THE DIMENSIONS ONLY. IF A DISCREPANCY IS FOUND TO EXIST, NOTIFY THE OWNER. IF THE OWNER/CONTRACTOR PROCEEDS WITH WORK HAVING UNRESOLVED DISCREPANCIES, THE OWNER/CONTRACTOR PROCEEDS AT THEIR OWN RISK.

ARCHITECTUAL GENERAL NOTES

- THESE PLANS/SPECIFICATIONS AND ALL WORK SHALL COMPLY WITH CURRENT EDITION OF STATE OF CALIFORNIA TITLE 24 CCR AND CURRENT UPC, UMC AND NEC CODES
- DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS OR CONDITIONS AND IS TO BE REVIEWED AND APPROVED BY THE CITY OF GONZALES.
- VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE INCLUDING GRADES AND DRAINAGE AND STAKE OUT STRUCTURE FOR OWNER'S APPROVAL PRIOR TO STARTING ANY WORK.
- ALL WEATHER-EXPOSED SURFACES ARE TO HAVE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING AND THAT EXTERIOR OPENINGS ARE TO BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF. PER CRC R703.7.3
- SPECIFICATIONS FOR EQUIPMENT SHALL BE KEPT ON SITE TO PROVIDE TO THE CITY OF GONZALES BUILDING INSPECTOR
- AN ENCROACHMENT PERMIT IS REQUIRED FOR ANY CONSTRUCTION, RECONSTRUCTION, OR CLOSURE OR THE ROADWAY, SIDEWALK OR RIGHT OF WAY. APPLICANT TO SUBMIT AN APPLICATION FOR ENCROACHMENT PERMIT TO CITY ENGINEER WHEN REQUIRED.

#### **ROOF NOTES**

- FLASHINGS SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE. UNLESS ROOFS ARE SLOPED TO DRAIN OVER ROOF EDGES
- DRAINS SHALL BE INSTALLED AT EACH LOW POINT OF THE ROOF ROOF ASSEMBLIES SHALL BE OF MATERIALS THAT ARE COMPATIBLE WITH EACH OTHER AND WITH THE BUILDING OR STRUCTURE TO WHICH THE MATERIALS ARE APPLIED
- BUILDING-INTEGRATED PHOTOVOLTAIC PRODUCTS INSTALLED AS THE ROOF COVERING SHALL BE TESTED, LISTED AND LABELED FOR FIRE CLASSIFICATION IN ACCORDANCE WITH SECTION R902.1 THROUGH R902.1.4.
- ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (17-PERCENT SLOPE) OR GREATER. FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (17-PERCENT SLOPE) UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (33-PERCENT SLOPE), DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R905.1.1.
- CLAY AND CONCRETE ROOF TILE SHALL BE INSTALLED ON ROOF SLOPES OF TWO AND ONE-HALF UNITS VERTICAL IN 12 UNITS HORIZONTAL (25-PERCENT SLOPE) OR GREATER. FOR ROOF SLOPES FROM TWO AND ONE-HALF UNITS VERTICAL IN 12 UNITS HORIZONTAL (25-PERCENT SLOPE) TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (33-PERCENT SLOPE), DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R905.3.3.
- SLATE SHINGLES TO BE USED ONLY ON SLOPES OF FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (33-PERCENT SLOPE) MIN.
- THE MINIMUM SLOPE FOR STANDING-SEAM ROOF SYSTEMS SHALL BE ONE-QUARTER UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE).
- BUILT-UP ROOFS SHALL HAVE A DESIGN SLOPE OF NOT LESS THAN ONE-FOURTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE) FOR DRAINAGE, EXCEPT FOR COAL-TAR BUILT-UP ROOFS, WHICH SHALL HAVE A DESIGN SLOPE OF A MINIMUM ONE-EIGHTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (1-PERCENT SLOPE).
- MINERAL-SURFACED ROLL ROOFING SHALL NOT BE APPLIED ON ROOF SLOPES BELOW ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (8-PERCENT SLOPE).
- MODIFIED BITUMEN ROOFING SHALL HAVE A DESIGN SLOPE OF NOT LESS THAN ONE-FOURTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE) FOR DRAINAGE.
- SINGLE-PLY MEMBRANE ROOFS SHALL HAVE A DESIGN SLOPE OF NOT LESS THAN ONE-FOURTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE) FOR DRAINAGE
- A CLASS A ROOF ASSEMBLY SHALL BE INSTALLED. IF THE APPLICANT DEVIATES FROM THE ROOF SPECIFICATIONS ON SHEET T1.1 THE APPLICANT SHALL PROVIDE A COPY OF THE ICC/UL LISTING
- FOR PHOTOVOLTAIC ARRAYS OCCUPYING NOT MORE THAN 33% OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN AN 18-INCH (457 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN A 36-INCH (914 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE.
- PER SECTION R806.5/EM3.9.6: a. INSULATION IS AIR PERMEABLE AND IT IS INSTALLED DIRECTLY BELOW THE ROOF SHEATHING WITH RIGID BOARD OR SHEET INSULATION WITH A MINIMUM R-4 VALUE INSTALLED ABOVE THE 20. ROOM SHEATHING. (OR)
- b.INSULATION IS AIR-IMPERMEABLE AND IS IN DIRECT CONTACT WITH THE UNDERSIDE OF THE OF THE ROOF SHEATHING. (OR) c. TWO LAYERS OF INSULATION ARE INSTALLED BELOW THE **ROOF SHEATHING:**
- AN AIR-IMPERMEABLE LAYER IN DIRECT CONTACT WITH THE UNDERSIDE OF THE ROOF SHEATHING AND AN ADDITIONAL LAYER OF AIR PERMEABLE INSULATION IS TO BE INSTALLED DIRECTLY UNDER THE AIR-IMPERMEABLE INSULATION.

#### FLOOR PLAN NOTES

- ALL DIMENSIONS TO FACE OF STUD, U.N.O. ALL DOORS SHOULD BE 3 1/2" FROM NEAREST INTERSECTING WALL AT HINGED SIDE, U.N.O.
- WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. OWNER/CONTRACTOR TO VERIFY ALL DIM. PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY OWNER OF ANY | 24. DISCREPANCIES.
- REFER TO FRAMING PLANS AND SECTIONS FOR CLARIFICATION AND DIM. NOT SHOWN
- ALL ROOF DRAIN PIPES TO BE MIN. 2" STORM DRAINAGE SYSTEM UNLESS LOCAL CODE REQUIRES LARGER DRAIN SIZES **ROOF GUTTERS**
- STYLE A . INSTALLED AND DESIGNED IN ACCORDANCE WITH SMACNA MANUAL, PLATE #1,#2 & #3,GUTTER. PAGE 6 - 11 WIDTH AS REQUIRED TO HANDLE THE AMOUNT OF ROOF WATER FOR MAXIMUM STORMS, SMACNA CHART #2, PAGE #2. GUTTER: SIZE; PAGES 1,2, 3, 4, 5 &6, CHARTS#1,#2,#3,#4,#5#6 & #7 STYLE; PLATE #2, STYLE A, PAGE 9 EXPANSION; PLATE #6, PAGE 16 &17

HANGING; PLATE #19, FIG. C, PAGE 43. **DOWN SPOUTS:** 

PLAIN RECTANGULAR.AS REQUIRED BY SMACNA MANUAL CHART #3, PAGE #3. SEE ARCHITECT FOR LOCATIONS OF DOWN SPOUTS. ALL DOWN SPOUTS ARE TO BE DESIGNED TO HANDLE THE AMOUNT OF ROOF WATER FOR MAXIMUM STORMS. SMACNA CHART #2. PAGE #2. DOWN SPOUTS ARE TO DEPOSIT DIRECTLY OVER A NDS 6 INCH SQUARE, MODEL 641 OR EQUAL.(SEE SECTION 02710 MORE INFORMATION)

TRANSITION OF FLOOR MATERIALS OCCURRING IN OPENINGS WITH DOORS TO BE LOCATED UNDER THE CENTER OF THE DOOR IN THE CLOSED POSITION. TRANSITION OF FLOOR MATERIAL OCCURRING WITH NO DOOR TO BE LOCATED TO ALIGN WITH THE FACE OF THE PARTITION, U.O.N

DIFFUSERS AND GRILLS TO MATCH COLOR OF SURFACE AT WHICH THEY ARE MOUNTED, U.O.N.

FLOOR FINISH TO CONTINUE UNDER MILLWORK WHERE FLOOR IS VISIBLE (I.E. TRASH, RECYCLING, ECT.) 8. SILICON SEALANT AT GLAZING TO BE CLEAR, U.O.N.

PLUMBING, ELECTRICAL, AND SPRINKLER EQUIPMENT, IF REQUIRED TO BE PAINTED

TO MATCH COLOR OF ADJACENT SURFACE.

ALL FINISH MATERIAL MUST MEET ALL APPLICATION FIRE, LIFE SAFETY, AND BUILDING CODES. 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SPECIFIED VOC CRITERIA. PARTICLE BOARD, MDF AND PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

OPERATION AND MAINTENANCE MANUAL: THE BUILDER IS TO PROVIDE AN OPERATION MANUAL (CONTAINING INFORMATION FOR MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT THE TIME OF FINAL INSPECTION.

WEEP SCREED FOR STUCCO AT THE FOUNDATION PLATE LINE SHALL BE A MIN. OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS. CRC R703.7.2.1, CBC 2512.1.2

FASTENERS AND CONNECTIONS (NAILS, ANCHORS BOLTS ETC) IN CONTACT WITH PRESERVATIVE -TREATED WOOD SHALL BE OF HOT -DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. (CRC R317.3, CBC 2304.10.5.1)

ANCHOR BOLTS SHALL INCLUDE STEEL PLATE WASHERS A MIN. 2 OF 0.229" X 3" X 3" IN SIZE, BETWEEN SILL PLATE AND NUT. (CRC R602.11.1, CBC 2308.3.2 ACCEPTANCE ALTERNATIVE SDPWS 4.3.6.4.3)

FUTURE WATER HEATERS AND PLUMBING FIXTURES SHALL MEET THE REQUIREMENTS OF SECTION 2-5314 AND TABLE 2-53G, 3 TITLE 24, C.A.C.

SITE SHALL BE PLANNED AND DEVELOPED TO KEEP SURFACE WATER AWAY FROM BUILDINGS. PLANS SHALL BE PROVIDED & APPROVED BY THE CITY ENGINEER THAT SHOW SITE GRADING AND PROVIDE FOR STORM WATER RETENTION AND DRAINAGE DURING CONSTRUCTION. BMP'S THAT ARE CURRENTLY ENFORCED BY THE CITY ENGINEER MUST BE IMPLEMENTED PRIOR TO INITIAL INSPECTION BY THE BUILD. DEPT.

VOC'S MUST COMPLY WITH THE LIMITATION LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3, AND 4.504.4 FOR: ADHESIVES, PAINTS, STAINS, CAULKS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS.DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISHED MATERIALS HAVE BEEN USED.

INTERIOR MOISTURE CONTROL AT SLAB ON GRADE FLOORS SHALL BE PROVIDED BY THE SOIL ENGINEER. IF A SOIL ENGINEER HAS NOT PREPARED A SOIL REPORT FOR THIS PROJECT, THE FOLLOWING IS REQUIRED: A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR BARRIER IN DIRECT CONTACT WITH CONCRETE, WITH A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING SHALL BE USED.

MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED. BUILDING MATERIAL WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE OWNER/CONTRACTOR BY ONE OF THE LISTED METHODS LISTED IN CGC 4.503.3

LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER BASED CONTROLLERS. THE BUILDER IS TO PROVIDE AN OPERATION MANUAL (WITH

INFORMATION FORM MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT THE TIME OF FINAL INSPECTION. CGC 4.410.0 GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD, & ACCESS REQUIREMENTS & ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.

22.

#### FLOOR PLAN NOTES (CONT'D)

- PRIOR TO FINAL APPROVAL OF THE BUILDING THE OWNER, LICENSED CONTRACTOR. ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST COMPLETE AND SIGN THE GREEN BUILDING STANDARDS CERTIFICATION FORM AND GIVEN TO THE BUILDING DEPT OFFICIAL TO BE FILED WITH THE APPROVED PLANS
- PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY ONE OF THE FOLLOWING: A. RETENTION BASIN. B. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD. CGC 4.106.2.
- THE OWNER/CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN TO THE JURISDICTION AGENCY THAT REGULATES WASTE MANAGEMENT, PER CGC 4.408.2.
- SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING
- VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOC. PLANS, SPECIFICATION BUILDER OR INSTALLER CERTIFICATIONS, INSPECTIONS REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH TO SHOW SUBSTANTIAL CONFORMATION.

NEW SINGLE FAMILY RESIDENTIAL CONSTRUCTION SHALL BE DESIGNED FOR AGING-IN-PLACE DESIGN AND FALL PREVENTION **PER R327** 

A) AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED. WHERE THERE IS NO BATHROOM ON THE ENTRY LEVEL, AT LEAST ONE BATHROOM ON THE SECOND OR THIRD FLOOR OF THE DWELLING SHALL COMPLY WITH THIS SECTION. B) REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING

C) REINFORCEMENT SHALL NOT BE LESS THAN 2 BY 8 INCH NOMINAL LUMBER. REINFORCEMENT SHALL BE LOCATED BETWEEN 32 INCHES AND 39-1/4 INCHES ABOVE THE FINISHED FLOOR FLUSH WITH THE WALL FRAMING. D) WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON

BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL E) SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE

WALL FRAMING IS PROVIDED.

F) BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND THE BACK WALL, ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES

ABOVE THE BATHTUB RIM. 65% OF CONSTRUCTION WASTE IS TO BE RECYCLED AND 100% OF INERT MATERIALS ARE RECYCLED, SALVAGED, COMPOSTED.

#### MECHANICAL/PLUMBING NOTES

- WHERE WATER CLOSET COMPARTMENT IS INDEPENDENT OF THE BATHROOM OR SHOWER AREA, A FAN WILL BE REQ. IN EACH AREA. BATHROOMS SHALL HAVE AN EXHAUST FAN WITH HUMIDITY CONTROL SENSOR, MIN. 50 CFM CAPACITY. (CRC R303.3.)
- ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS AND SIMILAR FIXTURES SHALL BE PROVIDED WITH AN EXHAUST FAN WITH HUMIDITY CONTROL SENSOR HAVING A MIN. CAPACITY OF 50 CFM DUCTED TO TERMINATE OUTSIDE THE BLDG. (CRC R303.3, CAL GREEN 4.505.1, CBC 1203 .5.2.1, CMC 402.5)
- SUPPLY AND RETURN AIR DUCTS TO BE INSULATED AT A MIN. OF R-6. (CAL ENERGY CODE TABLE 150.1-A) WHERE WHOLE HOUSE FANS ARE USED IN BATHROOM AREAS,
- THE FAN MUST RUN CONTINUOUSLY AND SHALL NOT BE TIED TO HUMIDITY CONTROL SENSOR. (CAL GREEN 4.506.1) **ENVIRONMENTAL AIR DUCTS SHALL TERMINATE MIN. 3 FEET**
- FROM PROPERTY LINE OR OPENINGS INTO BLDG., AND 10' FROM A FORCED AIR INLET. (CMC 502.2.1) ALL HOSE BIBS ARE TO HAVE VACUUM BREAKERS. (CPC603.5.7)
- THE MAX. AMOUNT OF WATER CLOSETS ON A 3" HORIZONTAL DRAINAGE SYSTEM LINE IS 3 (CPC TABLE 703.2) THE MAX. AMOUNT OF WATER CLOSETS ON A 3" VERTICAL
- DRAINAGE LINE IS 4. (CPC TABLE 703.2) WATER HEATER IS TO COMPLY WITH CAL ENERGY CODE 150.0(N)
- PROVIDE A CONDENSATE DRAIN NO MORE THAN 2" ABOVE THE BASE OF THE WATER HEATER SPACE PER CEC 150.0 (N). INSULATE ALL HOT WATER PIPES PER CEC 150.0(j) (2) CPC
  - 609.11) ISOLATION VALVES ARE REQ. FOR TANKLESS WATER HEATERS ON THE HOT AND COLD SUPPLY LINES WITH HOSE BIBS ON EACH VALVE, TO FLUSH THE HEAT EXCHANGER. (CEC 110.3(7).
  - EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK DRAFT DAMPERS
- 14. BATHROOM FANS SHALL BE ENERGY STAR RATED, VENTED DIRECTLY TO THE OUTSIDE AND CONTROLLED BY A HUMIDISTAT. DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE
  - PLUMBING FIXTURES AND FITTINGS INSTALLED IN RESIDENTIAL BUILDINGS SHALL COMPLY WITH THE PRESCRIPTIVE REQ. OF SECTIONS 4.303.1.1 THROUGH 4.303.1.4.4.

COVERED. CGC 4.504.1

PLUMBING FIXTURES AND FITTINGS REQ. IN CAL GREEN BUILDING STANDARDS SECTION 4.303.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE CPC AND SHALL MEET THE THE APPLICABLE REFERENCE STANDARDS.

#### MECHANICAL/PLUMBING NOTES (CONT'D)

- WHOLE-BUILDING MECHANICAL VENTILATION SYSTEM PER ASHRAE STANDARD 62.2. PROVIDE THE INSPECTOR THE FOLLOWING INFORMATION BEFORE THE TIME OF INSPECTION: a. CALCULATIONS FOR REQUIRED VENTING RATES.
  - b. CALCULATION ADJUSTMENTS FOR INTERMITTENT SYSTEMS 2 IF APPLICABLE.
  - c. DUCT DIAMETER AND MAXIMUM DUCT LENGTH PER ASHRAE 62.2 TABLE 7.1
  - d. TYPE OF SYSTEM USED AND PROVIDE COMPLETED CF-6R-MECH-05 FORM.
  - e. FANS SHALL BE A MAXIMUM OF 1 SONE. f. FANS SHALL BE PROVIDED A COVER OF R-4.2 WHEN OFF.
- CONFORM WITH CURRENT ADOPTED CPC, CRC, CMC, SMACCNA, NFPA AND LOCAL REQUIREMENTS.
  - a. DOMESTIC WATER (WITHIN BUILDING): COPPER OR PEX PIPE 4.
  - OR APPROVED EQUAL b. GAS, EXPOSED TO WEATHER: GALVANIZED
  - c. AIR CHAMBERS: 12" LONG CAPPED NIPPLE AT END OF EACH BRANCH TO EACH FIXTURE. d. DIELECTRIC UNIONS "F.P.C.O." REQUIREMENT AT ALL
  - DISSIMILAR MATERIAL CONNECTIONS. e. WHEN "OPTIONAL" SOFT-WATER LOOP INTALLED, PROVIDE 6. WITH 2 GATE VALVES.

#### **ELECTRIC READY NOTES:** 2022 ENERGY EFFICIENCY STANDARDS 150.0

(S) ENERGY STORAGE SYSTEMS (ESS) READY. ALL SINGLE-FAMILY RESIDENCES THAT INCLUDE ONE OR TWO DWELLING UNITS SHALL MEET THE FOLLOWING. ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE:

- 1. AT LEAST ONE OF THE FOLLOWING SHALL BE PROVIDED: A. ESS READY INTERCONNECTION EQUIPMENT WITH A MINIMUM BACKED-UP CAPACITY OF 60 AMPS AND A MINIMUM OF FOUR ESS-SUPPLIED BRANCH CIRCUITS, OR B. A DEDICATED RACEWAY FROM THE MAIN SERVICE TO A PANELBOARD (SUBPANEL) THAT SUPPLIES THE BRANCH CIRCUITS IN SECTION 150.0(S)(2). ALL BRANCH CIRCUITS ARE PERMITTED TO BE SUPPLIED BY THE MAIN SERVICE PANEL PRIOR TO THE INSTALLATION OF AN ESS. THE TRADE SIZE OF THE RACEWAY SHALL BE NOT LESS THAN ONE INCH. THE PANELBOARD THAT SUPPLIES THE BRANCH CIRCUITS (SUBPANEL) MUST BE LABELED "SUBPANEL SHALL INCLUDE ALL BACKED-UP LOAD CIRCUITS.'
- 2. A MINIMUM OF FOUR BRANCH CIRCUITS SHALL BE IDENTIFIED AND HAVE THEIR SOURCE OF SUPPLY COLLOCATED AT A SINGLE PANELBOARD SUITABLE TO BE SUPPLIED BY THE ESS. AT LEAST ONE CIRCUIT SHALL SUPPLY THE REFRIGERATOR, ONE LIGHTING CIRCUIT SHALL BE LOCATED NEAR THE PRIMARY EGRESS, AND AT LEAST ONE CIRCUIT SHALL SUPPLY A SLEEPING ROOM RECEPTACLE OUTLET.
- 3. THE MAIN PANELBOARD SHALL HAVE A MINIMUM BUSBAR RATING OF 225 AMPS. 4. SUFFICIENT SPACE SHALL BE RESERVED TO ALLOW
- FUTURE INSTALLATION OF A SYSTEM ISOLATION EQUIPMENT/TRANSFER SWITCH WITHIN 3 FEET OF THE MAIN PANELBOARD. RACEWAYS SHALL BE INSTALLED BETWEEN THE PANELBOARD AND THE SYSTEM ISOLATION EQUIPMENT/TRANSFER SWITCH LOCATION TO ALLOW THE CONNECTION OF BACKUP POWER SOURCE.

(T) HEAT PUMP SPACE HEATER READY. SYSTEMS USING GAS OR PROPANE FURNACE TO SERVE INDIVIDUAL DWELLING UNITS SHALL INCLUDE THE FOLLOWING:

- 1. A DEDICATED 240 VOLT BRANCH CIRCUIT WIRING SHALL BE INSTALLED WITHIN 3 FEET FROM THE FURNACE AND ACCESSIBLE TO THE FURNACE WITH NO OBSTRUCTIONS. THE BRANCH CIRCUIT CONDUCTORS SHALL BE RATED AT 30 AMPS MINIMUM. THE BLANK COVER SHALL BE IDENTIFIED AS "240V READY." ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.
- 2. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE HEAT PUMP SPACE HEATER INSTALLATION. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE 240V USE."

(U) ELECTRIC COOKTOP READY. SYSTEMS USING GAS OR PROPANE COOKTOP TO SERVE INDIVIDUAL DWELLING UNITS SHALL INCLUDE THE FOLLOWING:

INSTALLED WITHIN 3 FEET FROM THE COOKTOP AND ACCESSIBLE TO THE COOKTOP WITH NO OBSTRUCTIONS. THE BRANCH CIRCUIT CONDUCTORS SHALL BE RATED AT 50 AMPS MINIMUM. THE BLANK COVER SHALL BE IDENTIFIED AS "240V READY." ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN 17 ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE. 2. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE ELECTRIC COOKTOP INSTALLATION. THE RESERVED SPACE SHALL BE

1. A DEDICATED 240 VOLT BRANCH CIRCUIT WIRING SHALL BE

- PERMANENTLY MARKED AS "FOR FUTURE 240V USE." (V) ELECTRIC CLOTHES DRYER READY. CLOTHES DRYER LOCATIONS WITH GAS OR PROPANE PLUMBING TO SERVE INDIVIDUAL DWELLING UNITS SHALL INCLUDE THE FOLLOWING:
- 1. A DEDICATED 240 VOLT BRANCH CIRCUIT WIRING SHALL BE INSTALLED WITHIN 3 FEET FROM THE CLOTHES DRYER LOCATION AND ACCESSIBLE TO THE CLOTHES DRYER LOCATION WITH NO OBSTRUCTIONS. THE BRANCH CIRCUIT CONDUCTORS SHALL BE RATED AT 30 AMPS MINIMUM. THE BLANK COVER SHALL BE IDENTIFIED AS "240V READY." ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA

ELECTRICAL CODE. 2. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE ELECTRIC CLOTHES DRYER INSTALLATION. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE 240V USE."

#### **ELECTRICAL NOTES**

RECEPTACLE OUTLET LOCATIONS SHALL COMPLY WITH CEC ARTICLE 210.52. & CRC SECTION R327.1.2. TAMPER RESISTANT RECEPTACLE OUTLET LOCATIONS SHALL COMPLY W/ NEC ART. 210-52 AND 550.13 (I.E. ALL RECEPTACLES IN A DWELLING).

ARC-FAULT PROTECTION FOR ALL OUTLETS (NOT JUST RECEPTACLES) LOCATED IN ROOMS DESCRIBED IN NEC 210.12(A): KITCHENS, LAUNDRY AREAS, FAMILY, LIVING BEDROOMS, DINING, HALLS, ETC. ALL BRANCH CIRCUITS WILL BE ARC FAULT CIRCUIT PROTECTED PER NEC ART. 210-12(B) THERE ARE TO BE A MINIMUM OF 2 SMALL APPLIANCE BRANCH CIRCUITS WITHIN THESE AREAS CEC 210.11(C)1

BATHROOM CIRCUITING SHALL BE EITHER: a) A 20 AMPERE CIRCUIT DEDICATED TO EACH BATHROOM b) AT LEAST ONE 20 AMPERE CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE OUTLETS PER NEC ART. 210-11(c)3.

ALL 125-V, SINGLE-PHASE, 15- AND 20- AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, BASEMENTS, OUTDOORS, LAUNDRY AREA, KITCHEN DISHWASHERS, KITCHEN COUNTERS & AT WET BAR SINKS, WITHIN 6' OF A SINK, SHALL BE GFCI PROTECTED PER NEC ART. 210-8(A).

WEATHER RESISTANT TYPE FOR RECEPTACLES INSTALLED IN DAMP OR WET LOCATIONS (OUTSIDE) NEC 406.4(D)(6)

PER LIGHTING MEASURES 150(K)4 N T-24, THE BEDROOMS, HALLWAY, LIVING ROOM AND OFFICE ARE REQUIRED TO HAVE ANY INSTALLED FIXTURE TO BE ON A DIMMER SWITCH OR THE FIXTURE NEEDS TO BE HIGH EFFICACY.

OUTDOOR LIGHTING FIXTURES ARE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A COMBINATION PHOTOCONTROL / MOTION SENSOR.

A RECEPTACLE OUTLET MUST BE INSTALLED IN EVERY ROOM SO THAT NO POINT ALONG THE WALL SPACE IS MORE THAN 6 FEET, MEASURED HORIZONTALLY ALONG THE FLOOR LINE FROM A RECEPTACLE OUTLET CEC 210.52(A)

SMOKE DETECTORS MUST BE PERMANENTLY WIRED. IN NEW CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.

WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.

ALL EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM

A MINIMUM OF 1 LUMINAIRE SHALL BE INSTALLED IN BATHROOM CONTROLLED BY AN OCCUPANT OR VACANCY SENSOR PROVIDING AUTOMATIC -OFF FUNCTIONALLY (CENC 150 .0(K)21)

LAUNDRY AREA SHALL AT LEAST 1-20 AMP DEDICATED BRANCH CIRCUIT (CEC 210 .11 (C)(2)

PROVIDE A DEDICATED CIRCUIT FOR THE A.C./FAU (CEC 422.12) A DEDICATED 125V, 20AMP ELECTRICAL RECEPTACLE THAT IS CONNECTED TO THE ELECTRICAL PANEL WITH A  $\frac{120}{240}$  -VOLT 3 CONDUCTOR, 10 AWG COPPER BRANCH CIRCUIT, WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS (CENC 150.0(N)1A) PER CEC 2022 150.0(N).1.A.:

IF THE DESIGNATED SPACE IS WITHIN 3 FEET FROM THE WATER HEATER, THEN THIS SPACE SHALL INCLUDE THE FOLLOWING:A DEDICATED 125 VOLT, 20 AMP ELECTRICAL RECEPTACLE THAT IS CONNECTED TO THE ELECTRIC PANEL WITH A 120/240 VOLT 3 CONDUCTOR, 10 AWG COPPER BRANCH CIRCUIT, WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS; AND

- BOTH ENDS OF THE UNUSED CONDUCTOR SHALL BE LABELED WITH THE WORD "SPARE" AND BE ELECTRICALLY ISOLATED; A RESERVED SINGLE POLE CIRCUIT BREAKER SPACE IN THE ELECTRICAL PANEL ADJACENT TO THE CIRCUIT BREAKER FOR THE BRANCH CIRCUIT IN A ABOVE AND LABELED WITH THE WORDS "FUTURE 240V USE"; AND
- A CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER, AND ALLOWS NATURAL DRAINING WITHOUT PUMP ASSISTANCE

ELECTRICAL RECEPTACLE OUTLETS, SWITCH, AND CONTROL

HEIGHTS MUST BE NO MORE THAN 48" OR LESS THAN 15" MEASURE FROM THE FINISHED FLOOR. R327.1.2 DOORBELL BUTTON MUST BE INSTALLED NO MORE THAN 48

INCHES FROM EXTERIOR FLOOR. LUMINAIRE EFFICACY - ALL INSTALLED LUMINAIRES SHALL MEET THE REQUIREMENTS OF 2022 BUILDING ENERGY EFFICIENCY

STANDARDS TABLE 150.0-A PER SECTION 150.0(K). 15, 20 AND 30 AMP. RECEPTACLE OUTLETS SHALL BE INSTALLED NO MORE THAN 48" MEASURED FROM THE TOP OF OUTLET BOX AND NOT LESS THAN 15" FROM THE BOTTOM OF OUTLET BOX

ABOVE THE FLOOR. CONFORM WITH CURRENT CEC, NFPA, MFR'S, AND LOCAL

REQUIREMENTS. RECESSED LUMINAIRES INSTALLED IN AREAS TO RECEIVE INSULATION SHALL BE "IC" LUMINAIRES AND ARE CERTIFIED AND LABELED AS AIRTIGHT PER THE RESIDENTIAL ENERGY CODE.

RECESSED LIGHT FIXTURES INSTALLED IN A FIRE RATED

ASSEMBLY SHALL BE INSTALLED PER THE APPROVED LISTING

OR PROTECTED BY AN APPROVED METHOD. CEILING-SUSPENDED (PADDLE) FANS SHALL BE SUPPORTED INDEPENDENTLY OF AN OUTLET BOX OR BY LISTED OUTLET BOX OR OUTLET BOX SYSTEMS IDENTIFIED FOR THE USE AND INSTALLED PER CEC 314-27(D) & CEC 422-18

FOLLOWING CONDITIONS: I. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF GONZALES ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF ONZALES BUILDING DEPARTMENT. BUILDING CODES O CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S

WORK AND RESPONSIBILITY ON THIS PROJECT.

DOCUMENTS, THE RECIPIENT ACKNOWLEDGES,

ACCEPTS AND VOLUNTARILY AFFIRMS THE

DESIGN PATH STUDIO SHALL NOT BE RESPONSIBL FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.
2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED. SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON, ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM AN JSE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO 4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

City of Gonzales Pre-Approved ADU Plans

revisions

description General

Notes

September 2023

drawn by DESIGN PATH STUDIO

project no.

#### FIRE SPRINKLER NOTES

1. IF FIRE SPRINKLERS ARE REQUIRED AT PROPOSED ADU THEN THE FOLLOWING NOTES APPLY.

2. AUTOMATIC FIRE SPRINKLER SYSTEM - AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED AS PER NFPA 13D THE MOST CURRENT EDITION. DETAILED SPRINKLER PLANS SHALL BE SUBMITTED TO THE FIRE PREVENTION BUREAU AND APPROVED PRIOR TO INSTALLATION. PLANS AND INSTALLATION MUST BE BY A C16 LICENSED SPRINKLER CONTRACTOR.

3. SECTION 903.2.1 GROUP R AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 9033 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R FIRE AREA. THIS INCLUDES SINGLE FAMILY DWELLINGS, MULTI-FAMILY DWELLINGS AND ALL RESIDENTIAL CARE FACILITIES REGARDLESS OF

4. SECTION 903.2.1.1 ADDITIONS AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH 903.3 MAY BE REQUIRED TO BE INSTALLED THROUGHOUT STRUCTURES WHEN THE ADDITION IS MORE THAN 50% OF THE EXISTING BUILDING OR WHEN THE ALTERED BUILDING WILL EXCEED A FIRE FLOW OF 1,500 GALLONS PER MINUTE AS CALCULATED PER SECTION 507.3. THE FIRE CODE OFFICIAL MAY REQUIRE AN AUTOMATIC SPRINKLER SYSTEM BE INSTALLED IN BUILDINGS WHERE NO WATER MAIN EXISTS TO PROVIDE THE REQUIRED FIRE FLOW OR WHERE A SPECIAL HAZARD EXISTS SUCH AS: POOR ACCESS ROADS, GRADE, BLUFFS AND CANYON RIMS, HAZARDOUS BRUSH AND RESPONSE TIMES GREATER THAN 5 MINUTES BY A FIRE DEPARTMENT.

5. SECTION 903.2.1.2 REMODELS OR RECONSTRUCTION AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 MAY BE REQUIRED IF THE SCOPE OF WORK INCLUDES SIGNIFICANT MODIFICATION TO THE INTERIOR AND/OR ROOF OF THE BUILDING, AND THE COST OF THE INSTALLATION DOES NOT EXCEED 15 PERCENT OF THE CONSTRUCTION COSTS OF THE REMODEL.

6. LOCATION AND SIZE OF WATER SERVICE UNDERGROUND SHALL BE INSTALLED AS SHOWN ON APPROVED FIRE SPRINKLER PLANS. A MINIMUM 1 INCH WATER SHALL BE INSTALLED. 7. A FIRE UNDERGROUND FLUSH CERTIFICATION SHALL BE

8. A HYDRO INSPECTION OF THE FIRE SPRINKLER SYSTEM IS REQUIRED PRIOR TO FRAME INSPECTION. ONLY THE NEW PIPING

#### **ABBREVIATIONS**

ACCESSORY DWELLING UNIT ABOVE FINISH FLOOR **AMPERE** AMERICAN WIRE GAUGE BEST MANAGEMENT PRACTICE BOUNDARY NAILING BOTTOM COUNTER CALCULATION CUBIC FEET PER HOUR CUBIC FEET PER MINUTE CONCRETE CONTINUOUS DOUBLE DIAMETER DOUBLE TOP PLATE DISH WASHER FINISH FLOOR ELEVATION FIRE RATED **GALLON** GARBAGE DISPOSAL GROUND-FAULT CIRCUIT INTERRUPTER GALVANIZED IRON **GALLON PER MINUTE GYPSUM** HALLOW HEADER **HOLDOWN INSTALLATION** MINIMUM OR APPROVED EQUIVALENT ON CENTER OPERATION ORIENTED STRAND BOARD POUNDS PER SQUARE INCH PARALLEL-STRAND LUMBER POST TENTION QUANTITY REQUIRED REFRIGERATOR REINFORCED SAFETY DATA SHEET SIMILAR SQUARE FOOTAGE **TEMPERED** THICKNESS **TYPICAL UNLESS NOTED OTHERWISE** TYPE 5 B CONSTRUCTION WASHER AND DRYER WATER HEATER WEATHER RESISTANT

 $\triangleleft$ 

BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF GONZALES ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF GONZALES BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.
2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO 4. IF THE RECIPIENT DOES NOT AGREE WITH THE

ABOVE CONDITIONS, DO NOT PROCEED WITH

CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

project

City of Gonzales Pre-Approved ADU **Plans** 

revisions

description

## Fire General Notes

September 2023

project no.

drawn by design path studio

 $\langle E \rangle$ 

- 2. ALL WINDOW DIMENSIONS PERTAIN TO ROUGH OPENINGS (R.O.), OWNER/CONTRACTOR TO FIELD VERIFY ACTUAL DIMENSIONS FOR WINDOWS 3. ALL GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE NFRC LABEL.
- 4. ALL GLAZING SHALL BE SPECTRALY SELECTIVE LOW E COATED TO MEET TITLE 24 ENERGY REQUIREMENTS.
- 5. WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 116 E.E.S.D.
- 6. VENTILATION SHALL COMPLY WITH C.B.C. 1203.4 AND R303

EXTERIOR SPANISH ELEVATION 1/4"=1'-0"

- 7. EVERY SLEEPING ROOM SHALL HAVE ONE OPERABLE WINDOW FOR EMERGENCY ESCAPE OR RESCUE WITH A MIN. NET CLEAR OPENABLE AREA OF 5.7 SQ. FT, MIN. NET CLEAR OPENABLE HEIGHT OF 24" MIN., NET CLEAR WIDTH OF 20" AND A FIN. SILL HEIGHT OF NOT MORE THAN 44" A.F.F. PER CRC SECTION 3101.
- 8. TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED AND VISIBLE WHEN THE UNIT IS GLAZED

BLOCK UNITS, OR HAVE A FIRE-RESISTIVE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257.

- 9. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL VENTILATION AND NATURAL LIGHT BY MEANS OF VENTILATION / ARTIFICIAL LIGHT. CBC SECTIONS 1203.4 AND 1205.1 AND R303
- A) THE MINIMUM NET GLAZED AREA FOR NATURAL LIGHT SHALL NOT BE LESS THAN 8%OF THE FLOOR AREA OF THE ROOM SERVED. CBC SECTION 1205.2
- B) THE MINIMUM OPENABLE AREA TO THE OUTDOORS FOR NATURAL VENTILATION SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED. SECTION 1203.4 10. EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE
- 11. FIRE-RESISTENCE RATED GLAZING TESTED AS PART OF A FIRE-RESISTANCE-RATED WALL ASSEMBLY IN ACCORDANCE WITH ASTM E 119 OR UL 263 TO BE CONSTRUCTED OF MULIT-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENT OF SECTION 2406, CONSTRUCTED OF GLASS

#### **DOOR NOTES**

- ALL GLASS IN DOORS SHALL BE TEMPERED. TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED AND VISIBLE WHEN THE UNIT IS GLAZED.
- . ALL GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE "U" VALUE.
- 3. REFER TO FLOOR PLANS FOR DIRECTION OF DOOR SWING. 4. DOORS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 116 E.E.S.
- 5. VENTILATION SHALL COMPLY WITH C.B.C. 1203.4 AND R303.
- 5. DOORS MAY OPEN TO THE EXTERIOR ONLY IF THE FLOOR OR LANDING IS NOT MORE THAN 1- $\frac{1}{2}$  INCH LOWER
- THAN THE DOOR THRESHOLD. SECTION R311.3.1 CRC GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE,

WALL FRAMING -

- EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF STANDARD SFM 12-7A-1 OR SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITION-RESISTANT MATERIAL, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 3/8 INCHES
- THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1 1/4 INCHES THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20

EXTERIOR SHEATHING

MATERIAL PER ELEVATIONS-

WATER RESISTIVE BARRIER,—

MIN 6" OVER FLASHING

BACKER ROD & SEALANT-

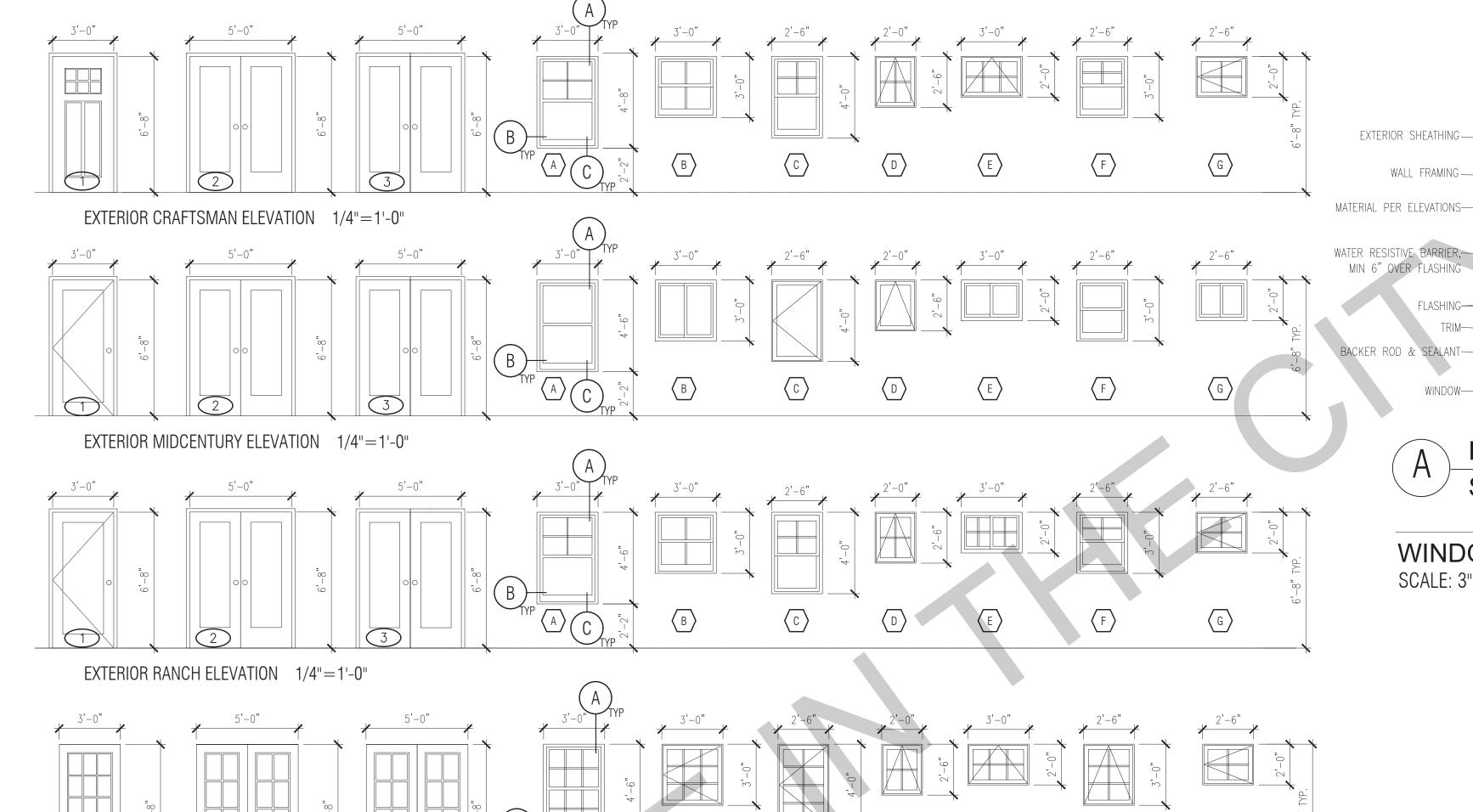
WINDOW-

JAMB

**PLAN VIEW** 

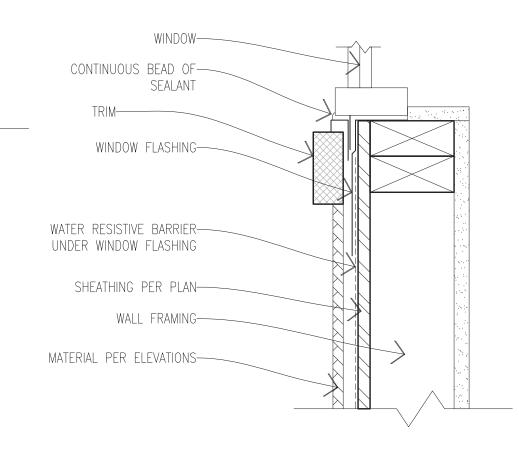
WALL FRAMING

MINUTES WHEN TESTED ACCORDING TO NFPA 257.



HEAD **SECTION VIEW** WINDOW DETAILS

SCALE: 3"=1'-0"



**SECTION VIEW** 

project

City of Gonzales Pre-Approved ADU Plans

BY USING THESE PERMIT READY CONSTRUCTION

RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH

ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF GONZALES ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF GONZALES BUILDING DEPARTMENT. BUILDING CODES OO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE

RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S

WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE

FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.

2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES

THAT THE USE OF THIS INFORMATION WILL BE AT

THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO

WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS

AND THE INFORMATION CONTAINED THEREON. ANY

DOCUMENTS BY THE RECIPIENT OR BY OTHERS

WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE

RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD

DESIGN PATH STUDIO AND ITS ARCHITECTS

INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN

PATH STUDIO OR ITS ARCHITECTS.

HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY

USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT T

4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

USE, REUSE, OR ALTERATION OF THESE

DOCUMENTS, THE RECIPIENT ACKNOWLEDGES,

ACCEPTS AND VOLUNTARILY AFFIRMS THE

IT WAS PREPARED FOR THE PERMIT READY

FOLLOWING CONDITIONS:

1. THE USE OF THIS INFORMATION IS

revisions

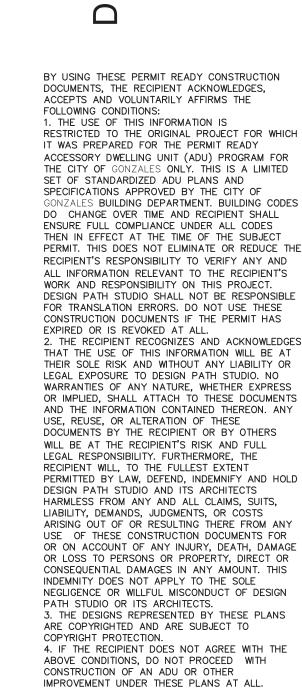
description

Schedules & Notes

date September 2023

project no.

drawn by DESIGN PATH STUDIO



project

City of Gonzales
Pre-Approved ADU
Plans

revisions

\( \rightarrow \)

description

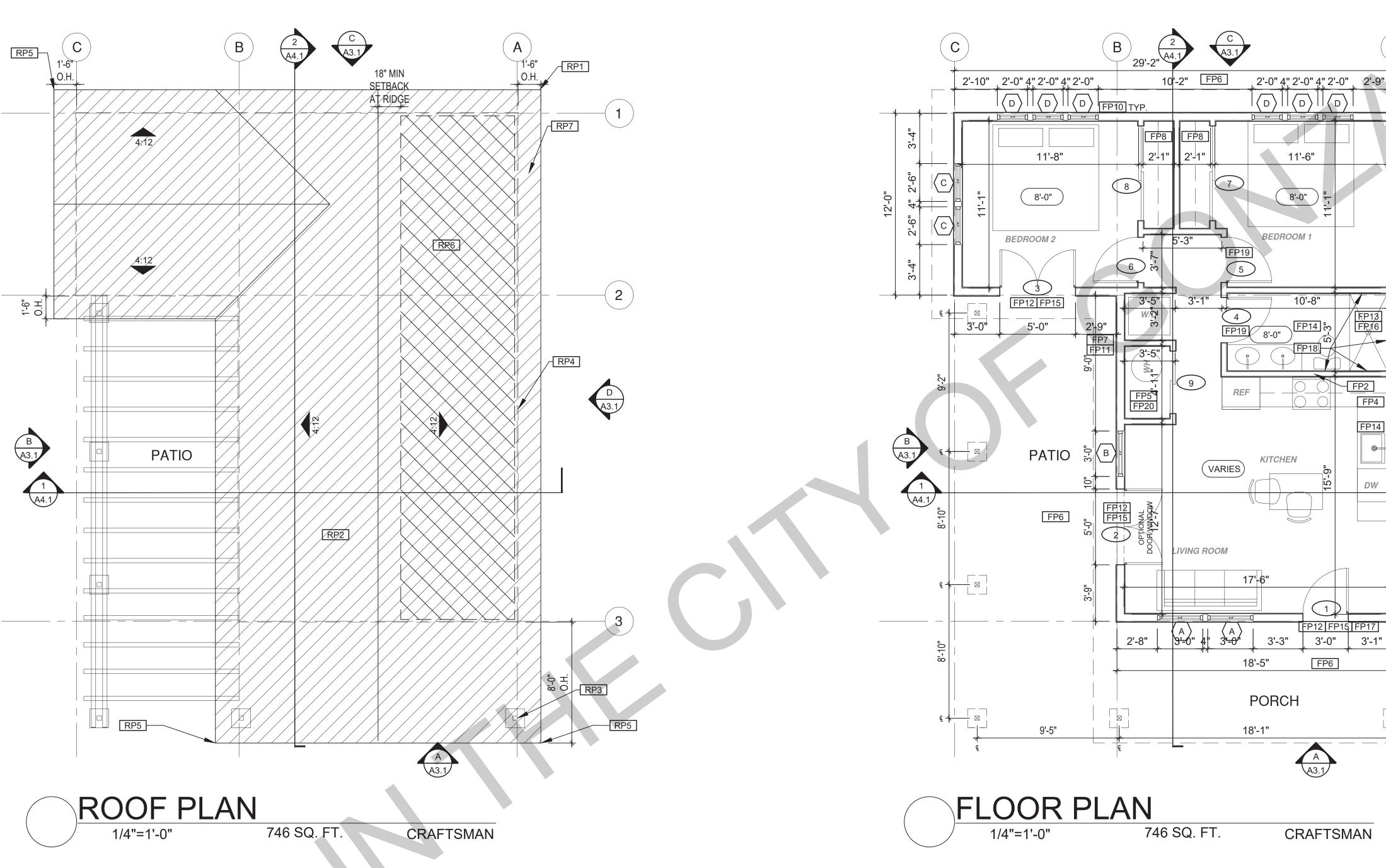
## Roof/Floor Plan Craftsman

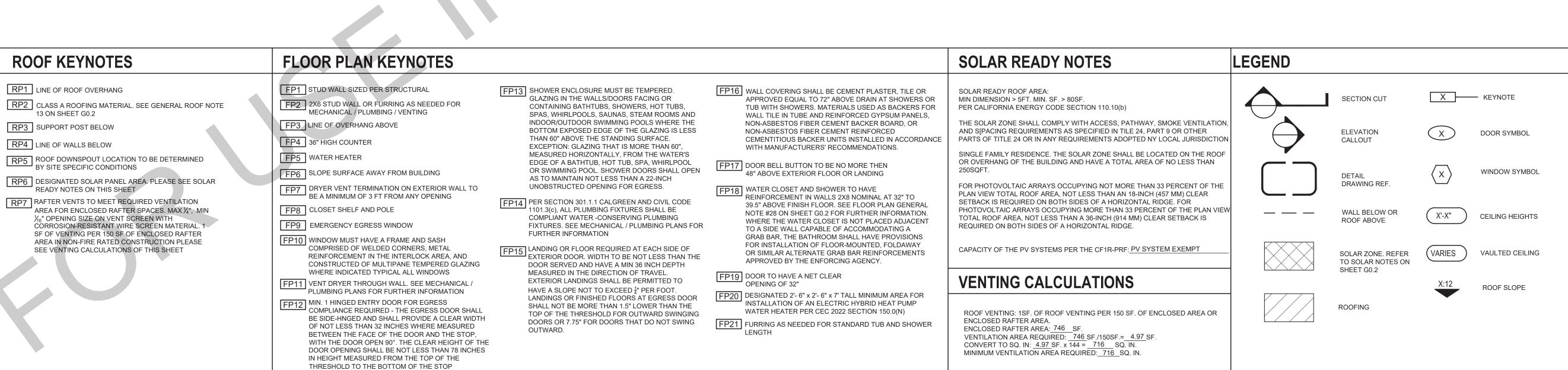
date September 2023

project no.

drawn by DESIGN PATH STUDIO

sheet no. A1.1







BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF GONZALES ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF GONZALES BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL. 2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO 4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

City of Gonzales Pre-Approved ADU Plans

revisions

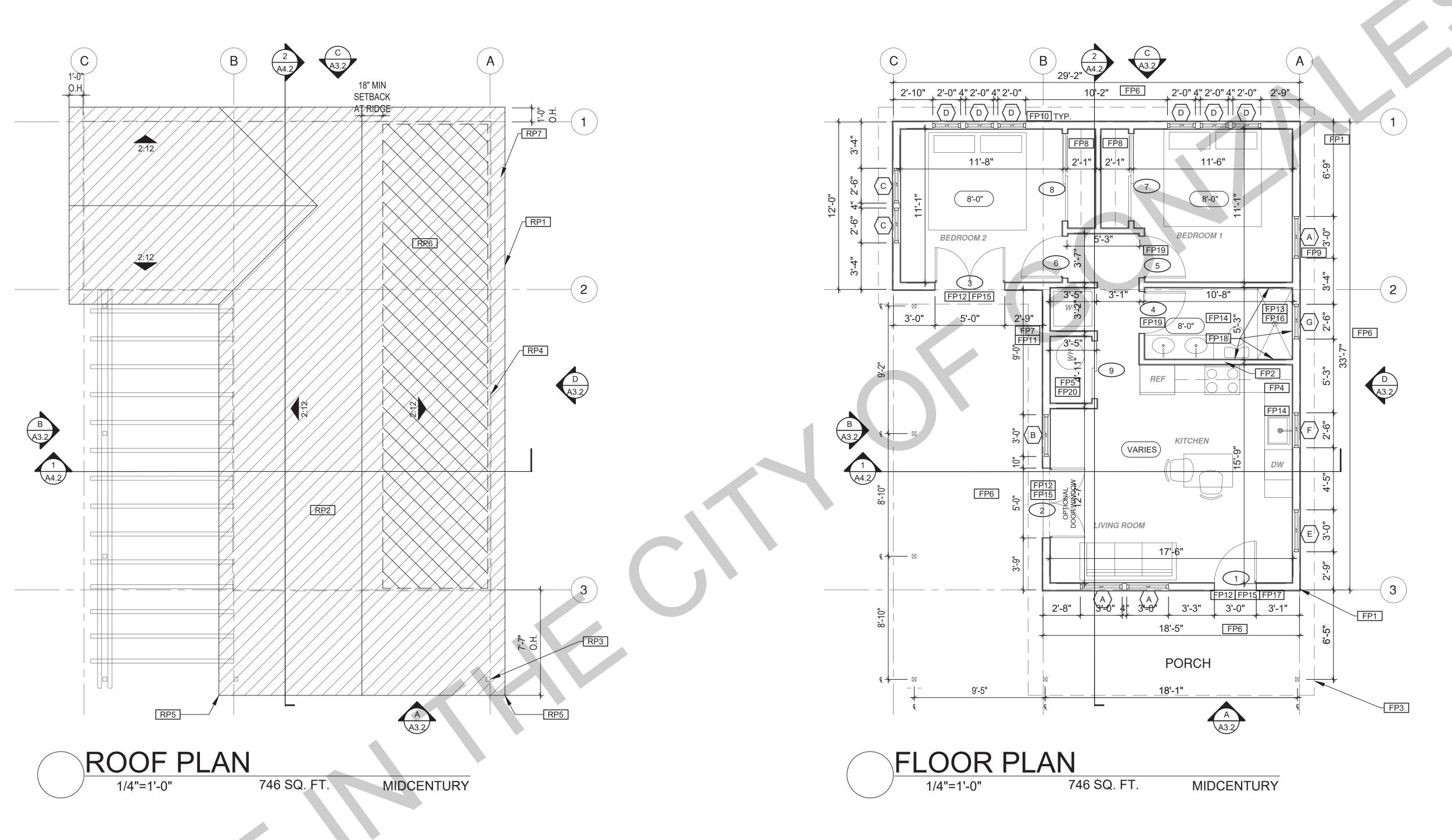
description

Roof/Floor Plan Midcentury

September 2023

project no.

drawn by DESIGN PATH STUDIO



#### **FLOOR PLAN KEYNOTES ROOF KEYNOTES SOLAR READY NOTES LEGEND** RP1 LINE OF ROOF OVERHANG FP1 STUD WALL SIZED PER STRUCTURAL FP16 WALL COVERING SHALL BE CEMENT PLASTER, TILE OR FP13 SHOWER ENCLOSURE MUST BE TEMPERED. SOLAR READY ROOF AREA: X KEYNOTE APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR GLAZING IN THE WALLS/DOORS FACING OR SECTION CUT MIN DIMENSION > 5FT. MIN. SF. > 80SF. RP2 CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0.2 FP2 2X6 STUD WALL OR FURRING AS NEEDED FOR CONTAINING BATHTUBS, SHOWERS, HOT TUBS, TUB WITH SHOWERS. MATERIALS USED AS BACKERS FOR PER CALIFORNIA ENERGY CODE SECTION 110.10(b) MECHANICAL / PLUMBING / VENTING SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS AND WALL TILE IN TUBE AND REINFORCED GYPSUM PANELS, INDOOR/OUTDOOR SWIMMING POOLS WHERE THE THE SOLAR ZONE SHALL COMPLY WITH ACCESS, PATHWAY, SMOKE VENTILATION FP3 LINE OF OVERHANG ABOVE NON-ASBESTOS FIBER CEMENT BACKER BOARD, OR RP3 SUPPORT POST BELOW BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS NON-ASBESTOS FIBER CEMENT REINFORCED AND S[PACING REQUIREMENTS AS SPECIFIED IN TILE 24, PART 9 OR OTHER **ELEVATION** DOOR SYMBOL THAN 60" ABOVE THE STANDING SURFACE. PARTS OF TITLE 24 OR IN ANY REQUIREMENTS ADOPTED NY LOCAL JURISDICTION CEMENTITIOUS BACKER UNITS INSTALLED IN ACCORDANCE CALLOUT FP4 36" HIGH COUNTER RP4 LINE OF WALLS BELOW EXCEPTION: GLAZING THAT IS MORE THAN 60", WITH MANUFACTURERS' RECOMMENDATIONS. SINGLE FAMILY RESIDENCE. THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF MEASURED HORIZONTALLY, FROM THE WATER'S FP5 WATER HEATER RP5 ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR OVERHANG OF THE BUILDING AND HAVE A TOTAL AREA OF NO LESS THAN FP17 DOOR BELL BUTTON TO BE NO MORE THEN FP6 SLOPE SURFACE AWAY FROM BUILDING OR SWIMMING POOL. SHOWER DOORS SHALL OPEN WINDOW SYMBOL 48" ABOVE EXTERIOR FLOOR OR LANDING DETAIL RP6 DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR READY NOTES ON THIS SHEET AS TO MAINTAIN NOT LESS THAN A 22-INCH DRAWING REF. FOR PHOTOVOLTAIC ARRAYS OCCUPYING NOT MORE THAN 33 PERCENT OF THE UNOBSTRUCTED OPENING FOR EGRESS. FP7 DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING FP18 WATER CLOSET AND SHOWER TO HAVE REINFORCEMENT IN WALLS 2X8 NOMINAL AT 32" TO PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN AN 18-INCH (457 MM) CLEAR RP7 RAFTER VENTS TO MEET REQUIRED VENTILATION FP14 PER SECTION 301.1.1 CALGREEN AND CIVIL CODE SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR 39.5" ABOVE FINISH FLOOR. SEE FLOOR PLAN GENERAL AREA FOR ENCLOSED RAFTER SPACES. MAX 1/4", MIN FP8 CLOSET SHELF AND POLE 1101.3(c), ALL PLUMBING FIXTURES SHALL BE PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW NOTE #28 ON SHEET G0.2 FOR FURTHER INFORMATION. WALL BELOW OR X'-X" CEILING HEIGHTS COMPLIANT WATER -CONSERVING PLUMBING TOTAL ROOF AREA, NOT LESS THAN A 36-INCH (914 MM) CLEAR SETBACK IS 1/16" OPENING SIZE ON VENT SCREEN WITH ROOF ABOVE WHERE THE WATER CLOSET IS NOT PLACED ADJACENT FP9 EMERGENCY EGRESS WINDOW CORROSION-RESISTANT WIRE SCREEN MATERIAL. 1 FIXTURES. SEE MECHANICAL / PLUMBING PLANS FOR REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. TO A SIDE WALL CAPABLE OF ACCOMMODATING A FURTHER INFORMATION SF OF VENTING PER 150 SF OF ENCLOSED RAFTER GRAB BAR, THE BATHROOM SHALL HAVE PROVISIONS FP10 WINDOW MUST HAVE A FRAME AND SASH AREA IN NON-FIRE RATED CONSTRUCTION PLEASE FOR INSTALLATION OF FLOOR-MOUNTED, FOLDAWAY FP15 LANDING OR FLOOR REQUIRED AT EACH SIDE OF EXTERIOR DOOR. WIDTH TO BE NOT LESS THAN THE COMPRISED OF WELDED CORNERS, METAL SEE VENTING CALCULATIONS OF THIS SHEET CAPACITY OF THE PV SYSTEMS PER THE CF1R-PRF: PV SYSTEM EXEMPT OR SIMILAR ALTERNATE GRAB BAR REINFORCEMENTS VARIES VAULTED CEILING SOLAR ZONE. REFER REINFORCEMENT IN THE INTERLOCK AREA, AND APPROVED BY THE ENFORCING AGENCY. TO SOLAR NOTES ON CONSTRUCTED OF MULTIPANE TEMPERED GLAZING DOOR SERVED AND HAVE A MIN 36 INCH DEPTH SHEET G0.2 WHERE INDICATED TYPICAL ALL WINDOWS MEASURED IN THE DIRECTION OF TRAVEL. FP19 DOOR TO HAVE A NET CLEAR **VENTING CALCULATIONS** EXTERIOR LANDINGS SHALL BE PERMITTED TO FP11 VENT DRYER THROUGH WALL. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION OPENING OF 32" ROOF SLOPE HAVE A SLOPE NOT TO EXCEED <sup>1</sup>/<sub>4</sub>" PER FOOT. FP20 DESIGNATED 2'- 6" x 2'- 6" x 7' TALL MINIMUM AREA FOR LANDINGS OR FINISHED FLOORS AT EGRESS DOOR FP12 MIN. 1 HINGED ENTRY DOOR FOR EGRESS COMPLIANCE REQUIRED - THE EGRESS DOOR SHALL INSTALLATION OF AN ELECTRIC HYBRID HEAT PUMP SHALL NOT BE MORE THAN 1.5" LOWER THAN THE ROOFING WATER HEATER PER CEC 2022 SECTION 150.0(N) ROOF VENTING: 1SF. OF ROOF VENTING PER 150 SF. OF ENCLOSED AREA OR TOP OF THE THRESHOLD FOR OUTWARD SWINGING BE SIDE-HNGED AND SHALL PROVIDE A CLEAR WIDTH ENCLOSED RAFTER AREA. DOORS OR 7.75" FOR DOORS THAT DO NOT SWING FP21 FURRING AS NEEDED FOR STANDARD TUB AND SHOWER OF NOT LESS THAN 32 INCHES WHERE MEASURED ENCLOSED RAFTER AREA: 746 SF. BETWEEN THE FACE OF THE DOOR AND THE STOP, VENTILATION AREA REQUIRED: 746 SF./150SF.= 4.97 SF. WITH THE DOOR OPEN 90°. THE CLEAR HEIGHT OF THE CONVERT TO SQ. IN: 4.97 SF. x 144 = 716 SQ. IN. DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES MINIMUM VENTILATION AREA REQUIRED: 716 SQ. IN. IN HEIGHT MEASURED FROM THE TOP OF THE

THRESHOLD TO THE BOTTOM OF THE STOP



BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF GONZALES ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF GONZALES BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.
2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. 4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

project

City of Gonzales Pre-Approved ADU Plans

revisions

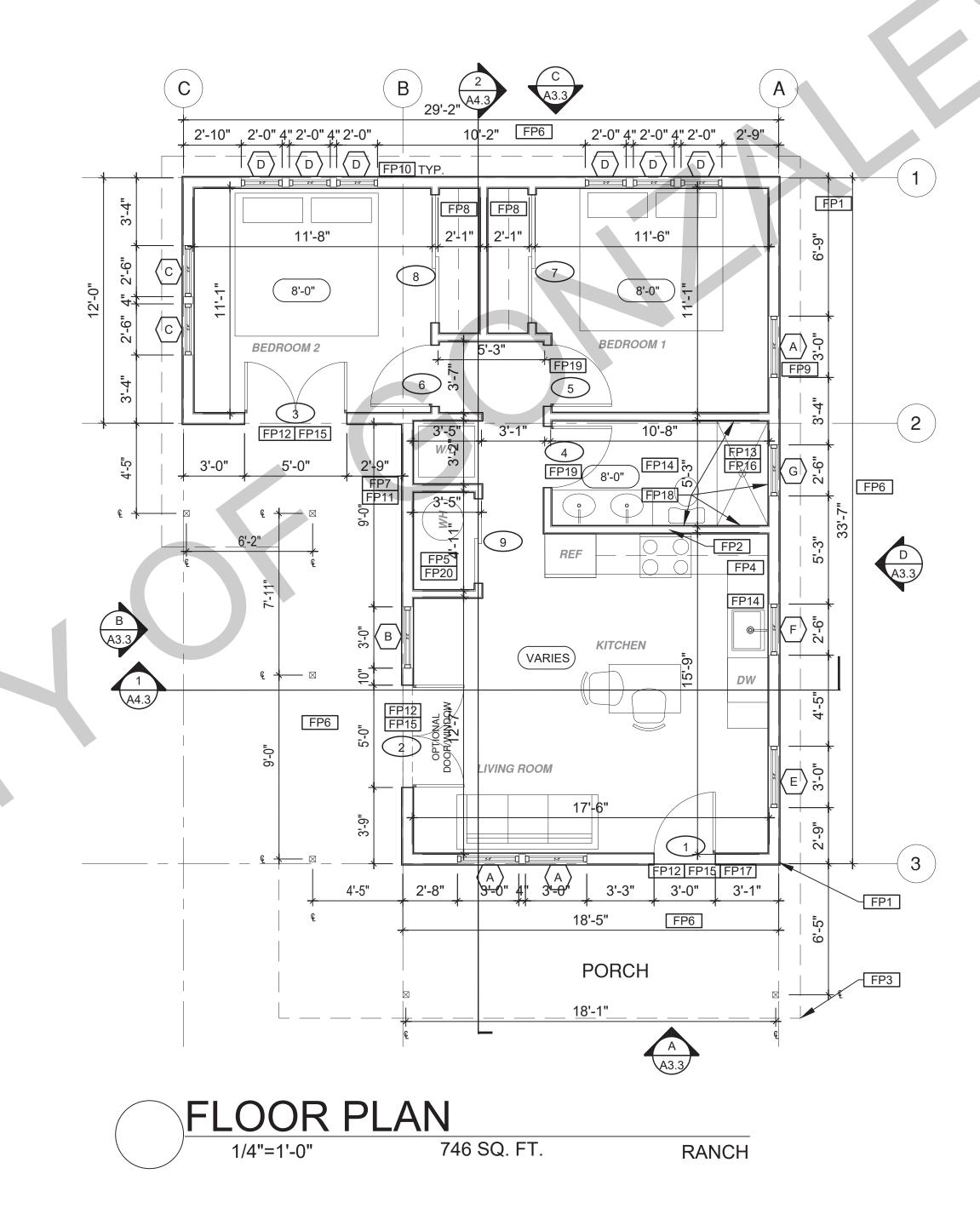
description

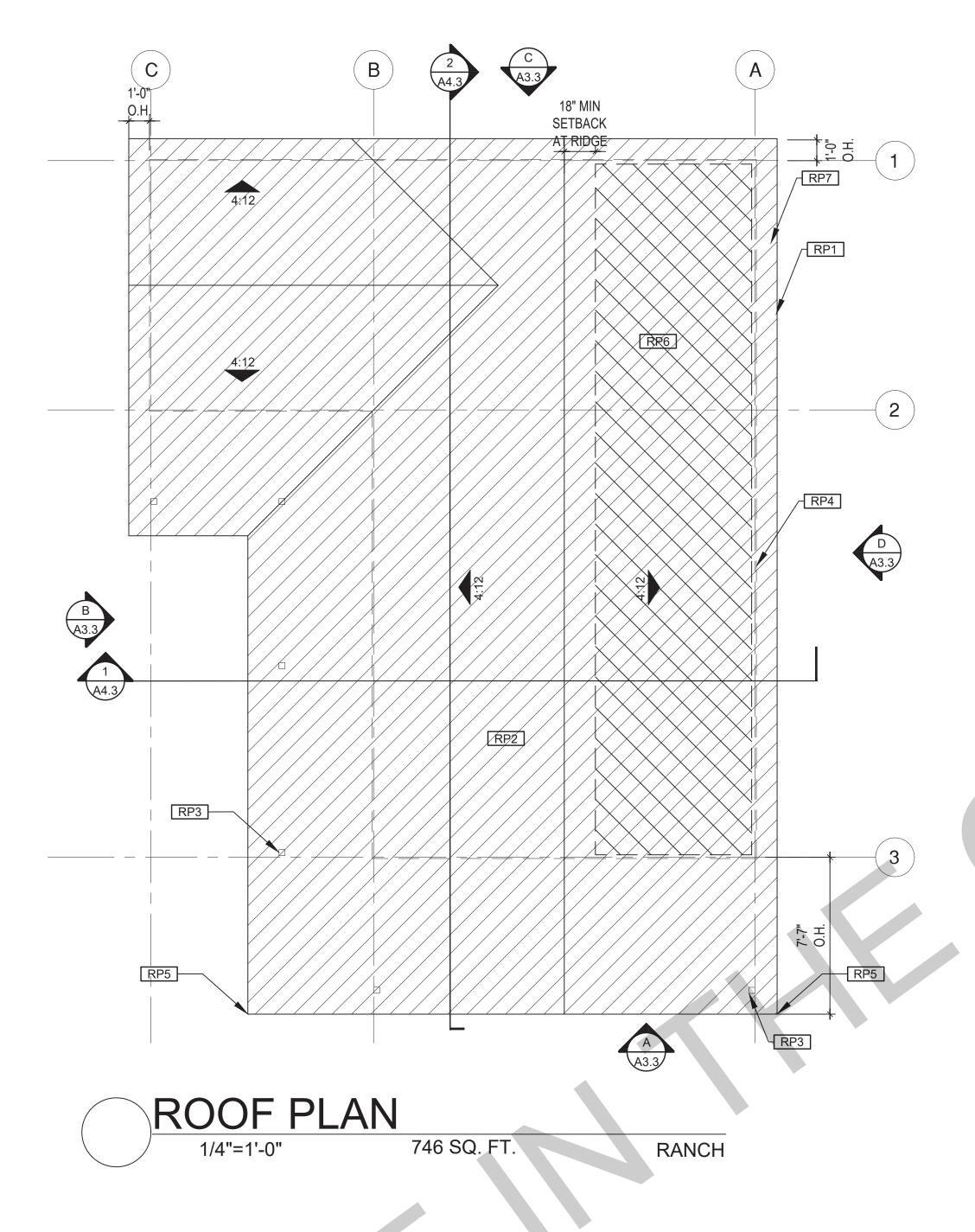
## Roof/Floor Plan Ranch

September 2023

project no.

drawn by DESIGN PATH STUDIO





**FLOOR PLAN KEYNOTES ROOF KEYNOTES** RP1 LINE OF ROOF OVERHANG FP1 STUD WALL SIZED PER STRUCTURAL FP13 SHOWER ENCLOSURE MUST BE TEMPERED. GLAZING IN THE WALLS/DOORS FACING OR RP2 CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0.2 FP2 2X6 STUD WALL OR FURRING AS NEEDED FOR MECHANICAL / PLUMBING / VENTING CONTAINING BATHTUBS, SHOWERS, HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS AND INDOOR/OUTDOOR SWIMMING POOLS WHERE THE FP3 LINE OF OVERHANG ABOVE RP3 SUPPORT POST BELOW BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE STANDING SURFACE. FP4 36" HIGH COUNTER RP4 LINE OF WALLS BELOW EXCEPTION: GLAZING THAT IS MORE THAN 60", MEASURED HORIZONTALLY, FROM THE WATER'S FP5 WATER HEATER RP5 ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL FP6 SLOPE SURFACE AWAY FROM BUILDING OR SWIMMING POOL. SHOWER DOORS SHALL OPEN RP6 DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR READY NOTES ON THIS SHEET AS TO MAINTAIN NOT LESS THAN A 22-INCH UNOBSTRUCTED OPENING FOR EGRESS. FP7 DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING RP7 RAFTER VENTS TO MEET REQUIRED VENTILATION FP14 PER SECTION 301.1.1 CALGREEN AND CIVIL CODE

1101.3(c), ALL PLUMBING FIXTURES SHALL BE COMPLIANT WATER -CONSERVING PLUMBING FIXTURES. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION

DOOR SERVED AND HAVE A MIN 36 INCH DEPTH MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED <sup>1</sup>/<sub>4</sub>" PER FOOT. LANDINGS OR FINISHED FLOORS AT EGRESS DOOR SHALL NOT BE MORE THAN 1.5" LOWER THAN THE TOP OF THE THRESHOLD FOR OUTWARD SWINGING DOORS OR 7.75" FOR DOORS THAT DO NOT SWING

FP16 WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS USED AS BACKERS FOR WALL TILE IN TUBE AND REINFORCED GYPSUM PANELS, NON-ASBESTOS FIBER CEMENT BACKER BOARD, OR NON-ASBESTOS FIBER CEMENT REINFORCED CEMENTITIOUS BACKER UNITS INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.

FP17 DOOR BELL BUTTON TO BE NO MORE THEN 48" ABOVE EXTERIOR FLOOR OR LANDING

FP18 WATER CLOSET AND SHOWER TO HAVE REINFORCEMENT IN WALLS 2X8 NOMINAL AT 32" TO 39.5" ABOVE FINISH FLOOR. SEE FLOOR PLAN GENERAL NOTE #28 ON SHEET G0.2 FOR FURTHER INFORMATION. WHERE THE WATER CLOSET IS NOT PLACED ADJACENT TO A SIDE WALL CAPABLE OF ACCOMMODATING A GRAB BAR, THE BATHROOM SHALL HAVE PROVISIONS FOR INSTALLATION OF FLOOR-MOUNTED, FOLDAWAY OR SIMILAR ALTERNATE GRAB BAR REINFORCEMENTS APPROVED BY THE ENFORCING AGENCY.

FP19 DOOR TO HAVE A NET CLEAR OPENING OF 32"

INSTALLATION OF AN ELECTRIC HYBRID HEAT PUMP WATER HEATER PER CEC 2022 SECTION 150.0(N) FP21 FURRING AS NEEDED FOR STANDARD TUB AND SHOWER

ENCLOSED RAFTER AREA. ENCLOSED RAFTER AREA: 746 SF. VENTILATION AREA REQUIRED: 746 SF./150SF.= 4.97 SF. CONVERT TO SQ. IN: 4.97 SF. x 144 = 716 SQ. IN. MINIMUM VENTILATION AREA REQUIRED: 716 SQ. IN.

**SOLAR READY NOTES** 

SOLAR READY ROOF AREA:

MIN DIMENSION > 5FT. MIN. SF. > 80SF. PER CALIFORNIA ENERGY CODE SECTION 110.10(b) THE SOLAR ZONE SHALL COMPLY WITH ACCESS, PATHWAY, SMOKE VENTILATION, AND S[PACING REQUIREMENTS AS SPECIFIED IN TILE 24, PART 9 OR OTHER **ELEVATION** DOOR SYMBOL PARTS OF TITLE 24 OR IN ANY REQUIREMENTS ADOPTED NY LOCAL JURISDICTION CALLOUT SINGLE FAMILY RESIDENCE. THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF OR OVERHANG OF THE BUILDING AND HAVE A TOTAL AREA OF NO LESS THAN WINDOW SYMBOL DETAIL DRAWING REF. FOR PHOTOVOLTAIC ARRAYS OCCUPYING NOT MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN AN 18-INCH (457 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW WALL BELOW OR X'-X" CEILING HEIGHTS TOTAL ROOF AREA, NOT LESS THAN A 36-INCH (914 MM) CLEAR SETBACK IS **ROOF ABOVE** REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. CAPACITY OF THE PV SYSTEMS PER THE CF1R-PRF: PV SYSTEM EXEMPT VARIES VAULTED CEILING SOLAR ZONE. REFER TO SOLAR NOTES ON SHEET G0.2 **VENTING CALCULATIONS** ROOF SLOPE ROOFING ROOF VENTING: 1SF. OF ROOF VENTING PER 150 SF. OF ENCLOSED AREA OR

**LEGEND** 

X KEYNOTE

SECTION CUT

AREA FOR ENCLOSED RAFTER SPACES. MAX 1/4", MIN FP8 CLOSET SHELF AND POLE 1/16" OPENING SIZE ON VENT SCREEN WITH FP9 EMERGENCY EGRESS WINDOW CORROSION-RESISTANT WIRE SCREEN MATERIAL. 1 SF OF VENTING PER 150 SF OF ENCLOSED RAFTER FP10 WINDOW MUST HAVE A FRAME AND SASH AREA IN NON-FIRE RATED CONSTRUCTION PLEASE FP15 LANDING OR FLOOR REQUIRED AT EACH SIDE OF EXTERIOR DOOR. WIDTH TO BE NOT LESS THAN THE COMPRISED OF WELDED CORNERS, METAL SEE VENTING CALCULATIONS OF THIS SHEET REINFORCEMENT IN THE INTERLOCK AREA, AND CONSTRUCTED OF MULTIPANE TEMPERED GLAZING WHERE INDICATED TYPICAL ALL WINDOWS FP11 VENT DRYER THROUGH WALL. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION FP12 MIN. 1 HINGED ENTRY DOOR FOR EGRESS COMPLIANCE REQUIRED - THE EGRESS DOOR SHALL BE SIDE-HNGED AND SHALL PROVIDE A CLEAR WIDTH

OF NOT LESS THAN 32 INCHES WHERE MEASURED

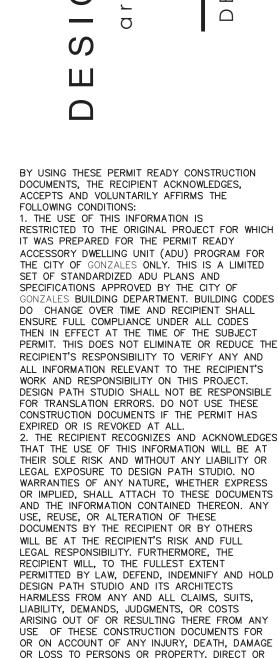
BETWEEN THE FACE OF THE DOOR AND THE STOP,

IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP

WITH THE DOOR OPEN 90°. THE CLEAR HEIGHT OF THE

DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES

FP20 DESIGNATED 2'- 6" x 2'- 6" x 7' TALL MINIMUM AREA FOR



CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS

4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO



City of Gonzales Pre-Approved ADU Plans

revisions

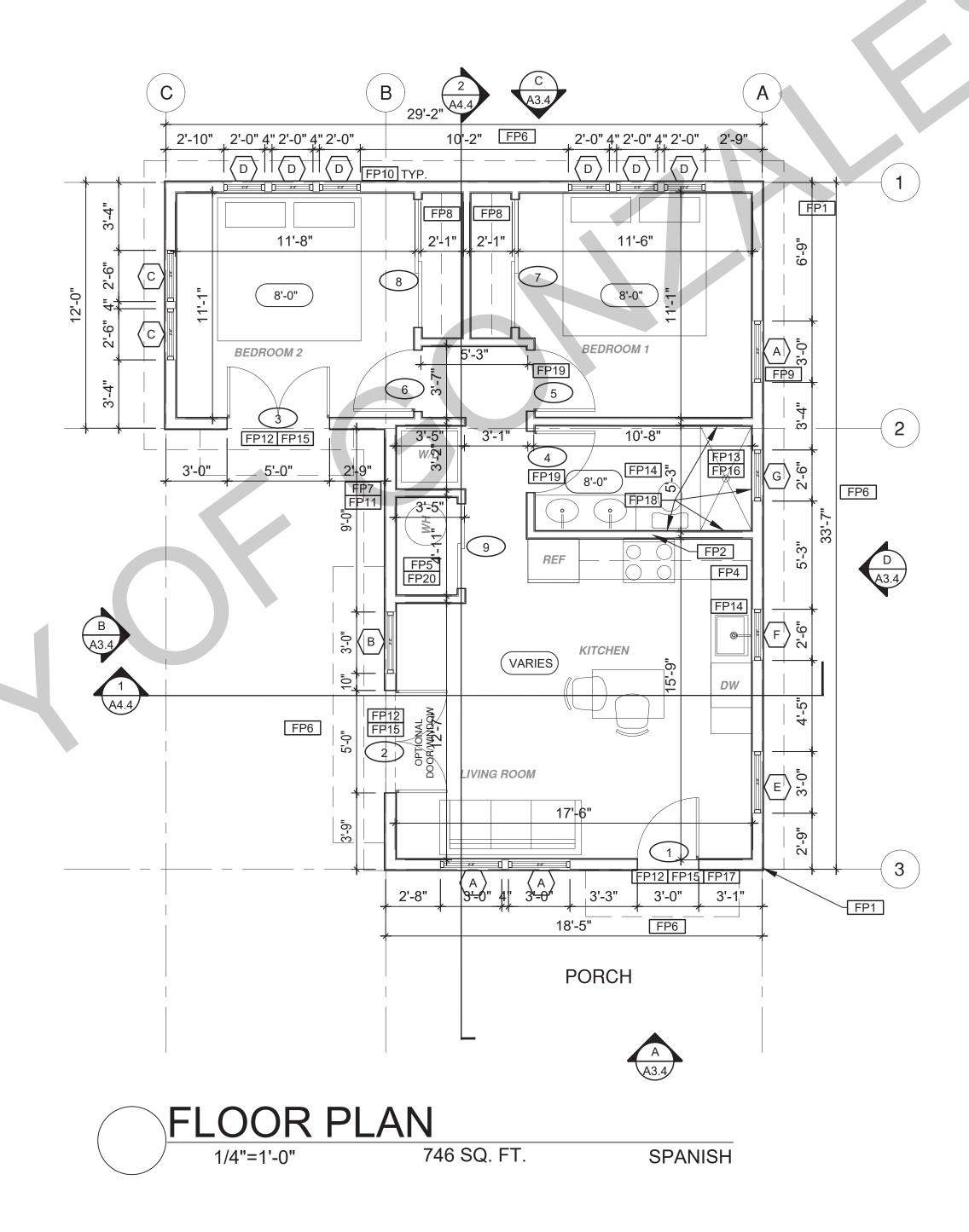
description

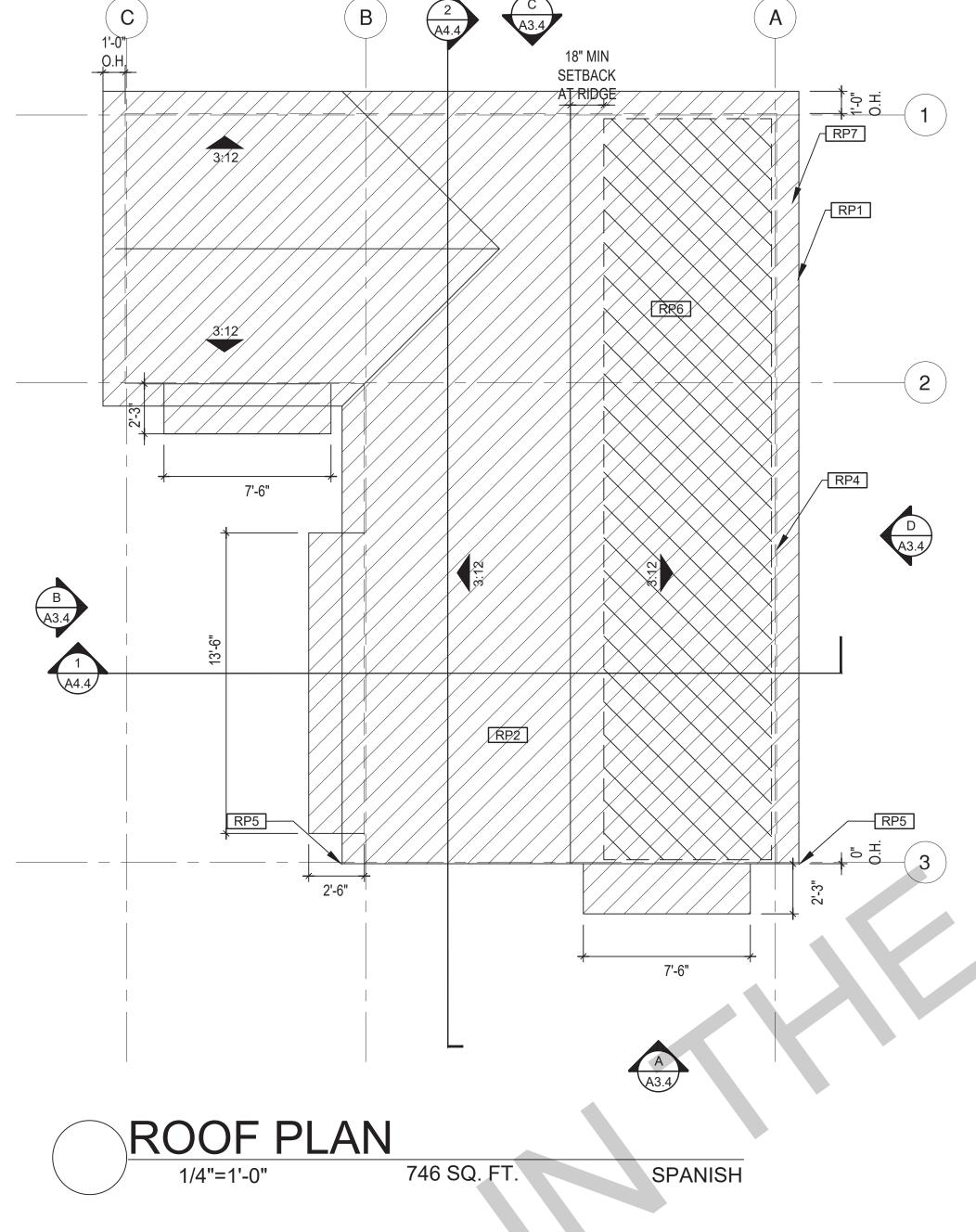
## Roof/Floor Plan Spanish

September 2023

project no.

drawn by design path studio





**FLOOR PLAN KEYNOTES** 

FP1 STUD WALL SIZED PER STRUCTURAL FP13 SHOWER ENCLOSURE MUST BE TEMPERED. GLAZING IN THE WALLS/DOORS FACING OR FP2 2X6 STUD WALL OR FURRING AS NEEDED FOR MECHANICAL / PLUMBING / VENTING

FP3 LINE OF OVERHANG ABOVE FP4 36" HIGH COUNTER

FP5 WATER HEATER

**ROOF KEYNOTES** 

RP2 CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0.2

RP5 ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS

RP7 RAFTER VENTS TO MEET REQUIRED VENTILATION

1/16" OPENING SIZE ON VENT SCREEN WITH

RP6 DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR READY NOTES ON THIS SHEET

AREA FOR ENCLOSED RAFTER SPACES. MAX 1/4", MIN

CORROSION-RESISTANT WIRE SCREEN MATERIAL. 1

SF OF VENTING PER 150 SF OF ENCLOSED RAFTER

AREA IN NON-FIRE RATED CONSTRUCTION PLEASE

SEE VENTING CALCULATIONS OF THIS SHEET

RP1 LINE OF ROOF OVERHANG

RP3 SUPPORT POST BELOW

RP4 LINE OF WALLS BELOW

FP6 SLOPE SURFACE AWAY FROM BUILDING

FP7 DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING

FP8 CLOSET SHELF AND POLE

FP9 EMERGENCY EGRESS WINDOW FP10 WINDOW MUST HAVE A FRAME AND SASH COMPRISED OF WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND CONSTRUCTED OF MULTIPANE TEMPERED GLAZING

WHERE INDICATED TYPICAL ALL WINDOWS FP11 VENT DRYER THROUGH WALL. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION

FP12 MIN. 1 HINGED ENTRY DOOR FOR EGRESS COMPLIANCE REQUIRED - THE EGRESS DOOR SHALL BE SIDE-HNGED AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90°. THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP

CONTAINING BATHTUBS, SHOWERS, HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS AND INDOOR/OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE STANDING SURFACE. EXCEPTION: GLAZING THAT IS MORE THAN 60", MEASURED HORIZONTALLY, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL. SHOWER DOORS SHALL OPEN AS TO MAINTAIN NOT LESS THAN A 22-INCH

FP14 PER SECTION 301.1.1 CALGREEN AND CIVIL CODE 1101.3(c), ALL PLUMBING FIXTURES SHALL BE COMPLIANT WATER -CONSERVING PLUMBING FIXTURES. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION

UNOBSTRUCTED OPENING FOR EGRESS.

FP15 LANDING OR FLOOR REQUIRED AT EACH SIDE OF EXTERIOR DOOR. WIDTH TO BE NOT LESS THAN THE DOOR SERVED AND HAVE A MIN 36 INCH DEPTH MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED <sup>1</sup>/<sub>4</sub>" PER FOOT. LANDINGS OR FINISHED FLOORS AT EGRESS DOOR SHALL NOT BE MORE THAN 1.5" LOWER THAN THE TOP OF THE THRESHOLD FOR OUTWARD SWINGING DOORS OR 7.75" FOR DOORS THAT DO NOT SWING

FP16 WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS USED AS BACKERS FOR WALL TILE IN TUBE AND REINFORCED GYPSUM PANELS, NON-ASBESTOS FIBER CEMENT BACKER BOARD, OR NON-ASBESTOS FIBER CEMENT REINFORCED CEMENTITIOUS BACKER UNITS INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.

FP17 DOOR BELL BUTTON TO BE NO MORE THEN 48" ABOVE EXTERIOR FLOOR OR LANDING

FP18 WATER CLOSET AND SHOWER TO HAVE REINFORCEMENT IN WALLS 2X8 NOMINAL AT 32" TO 39.5" ABOVE FINISH FLOOR. SEE FLOOR PLAN GENERAL NOTE #28 ON SHEET G0.2 FOR FURTHER INFORMATION. WHERE THE WATER CLOSET IS NOT PLACED ADJACENT TO A SIDE WALL CAPABLE OF ACCOMMODATING A GRAB BAR, THE BATHROOM SHALL HAVE PROVISIONS FOR INSTALLATION OF FLOOR-MOUNTED, FOLDAWAY OR SIMILAR ALTERNATE GRAB BAR REINFORCEMENTS APPROVED BY THE ENFORCING AGENCY.

FP19 DOOR TO HAVE A NET CLEAR OPENING OF 32"

FP20 DESIGNATED 2'- 6" x 2'- 6" x 7' TALL MINIMUM AREA FOR INSTALLATION OF AN ELECTRIC HYBRID HEAT PUMP WATER HEATER PER CEC 2022 SECTION 150.0(N)

FP21 FURRING AS NEEDED FOR STANDARD TUB AND SHOWER

SOLAR READY ROOF AREA: MIN DIMENSION > 5FT. MIN. SF. > 80SF. PER CALIFORNIA ENERGY CODE SECTION 110.10(b) THE SOLAR ZONE SHALL COMPLY WITH ACCESS, PATHWAY, SMOKE VENTILATION AND S[PACING REQUIREMENTS AS SPECIFIED IN TILE 24, PART 9 OR OTHER PARTS OF TITLE 24 OR IN ANY REQUIREMENTS ADOPTED NY LOCAL JURISDICTION

MINIMUM VENTILATION AREA REQUIRED: 716 SQ. IN.

**SOLAR READY NOTES** 

ENCLOSED RAFTER AREA. ENCLOSED RAFTER AREA: 746 SF. VENTILATION AREA REQUIRED: 746 SF./150SF.= 4.97 SF. CONVERT TO SQ. IN: 4.97 SF. x 144 = 716 SQ. IN.

CALLOUT SINGLE FAMILY RESIDENCE. THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF OR OVERHANG OF THE BUILDING AND HAVE A TOTAL AREA OF NO LESS THAN WINDOW SYMBOL DETAIL DRAWING REF. FOR PHOTOVOLTAIC ARRAYS OCCUPYING NOT MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN AN 18-INCH (457 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW WALL BELOW OR X'-X" CEILING HEIGHTS TOTAL ROOF AREA, NOT LESS THAN A 36-INCH (914 MM) CLEAR SETBACK IS **ROOF ABOVE** REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. CAPACITY OF THE PV SYSTEMS PER THE CF1R-PRF: PV SYSTEM EXEMPT VARIES ) VAULTED CEILING SOLAR ZONE. REFER TO SOLAR NOTES ON SHEET G0.2 **VENTING CALCULATIONS** ROOF SLOPE ROOFING ROOF VENTING: 1SF. OF ROOF VENTING PER 150 SF. OF ENCLOSED AREA OR

**LEGEND** 

X KEYNOTE

DOOR SYMBOL

SECTION CUT

**ELEVATION** 

ARISING OUT OF OR RESULTING THERE FROM ANY

USE OF THESE CONSTRUCTION DOCUMENTS FOR

OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS

NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN

PATH STUDIO OR ITS ARCHITECTS.

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.

4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

INDEMNITY DOES NOT APPLY TO THE SOLE

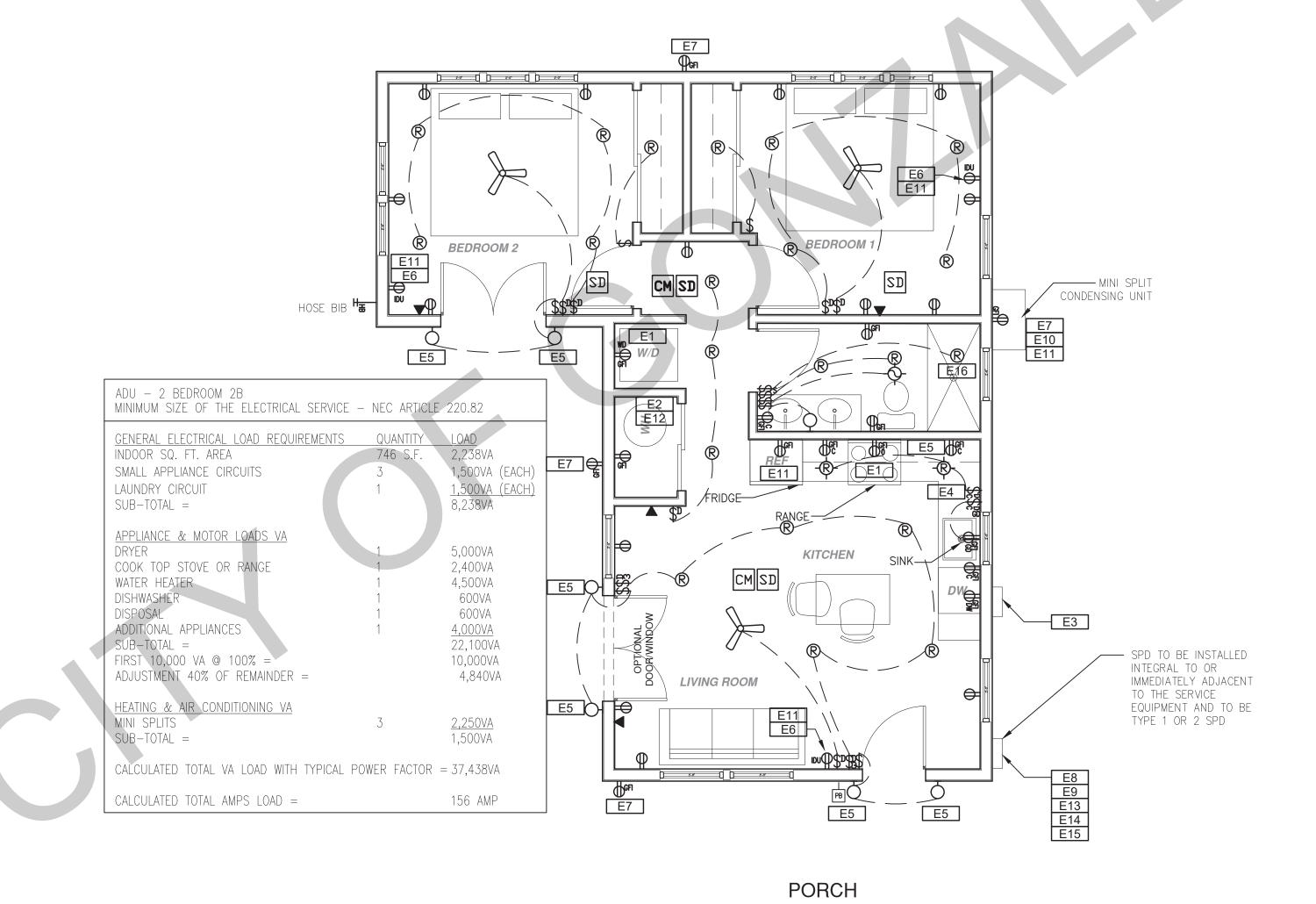
OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE

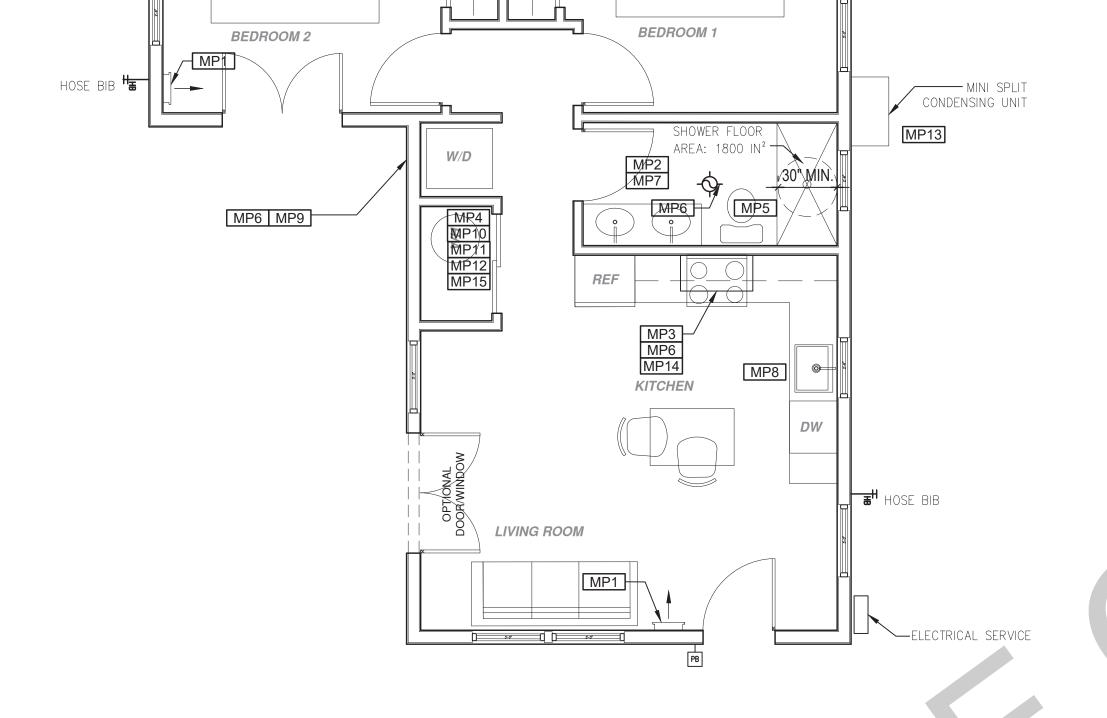
Plan

project no.

drawn by DESIGN PATH STUDIO

September 2023





PORCH

MECHANICAL / PLUMBING PLAN 1/4"=1'-0"



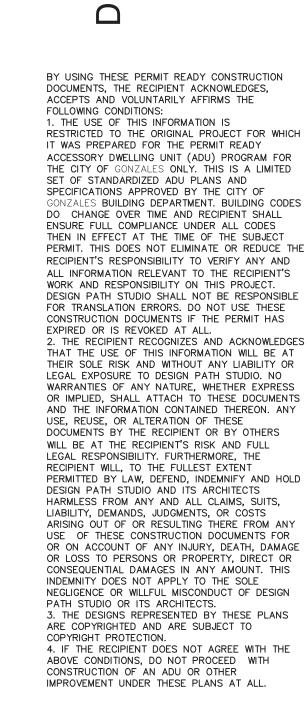
## ELECTRICAL PLAN

1/4"=1'-0"

| MECHANICAL / PLUMBING KEYNOTES   | ELECTRICAL KEYNOTES  | MECHANICAL LEGEND  | ELECTRICAL LEGEND   |   |
|--|--|--|---|---|
| MP1 INDOOR UNIT MINI SPLIT SYSTEM.  MP9 DRYER EXHAUST OUTLET FROM DRYER TO EXTERIOR MAX LENGTH  14' WITH MAXIMUM OF TWO 90° ELBOWS.EXHAUST VENT MUST   | DEDICATED 30 AMP/ 240V POWER FOR ELECTRIC DRYER OR OVEN. VERIFY REQUIREMENTS WITH APPLIANCE SPECIFICATIONS - ELECTRIC COOKTOP  DEDICATED 30 AMP/ 240V POWER FOR ELECTRIC SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF THE HEATING AND COOLING.  | MECHANICAL   | FIRE DETECTION POWER/DATA   | SWITCHING LIGHTING  |
| MP2 WATER CONSERVING FIXTURES: NEW WATER CLOSETS SHALL USE NO MORE THAN 1.28 GAL.  TERMINATE A MIN. OF 3' FROM ANY OPENING. MIN. TYPE 1 CLOTHES TO SHALL USE NO MORE THAN 1.28 GAL.  | APPLIANCE SPECIFICATIONS - ELECTRIC COOKTOP FOR THE SERVICING OF THE HEATING AND COOLING READY REQUIREMENTS ARE TO BE IMPLEMENTED, EQUIPMENT AND SHALL BE LOCATED ON THE SAME  | THE EXTERIOR AND SHALL PROVIDE FIVE AIR  | SD  SMOKE DETECTORS PER SECTION R314  | \$ SWITCH, MOUNT AT 43" AFF ® CEILING, RECESSED, DIRECTIONAL, ZERO  N. CLEARANCE IC RATED LED BULB  |
| OF WATER PER FLUSH, LAVATORIES LIMITED TO  1.2 GPM, KITCHEN FAUCETS NOT TO EXCEED 1.8  SMOOTH INTERIOR SURFACES. THE DIAMETER SHALL BE NOT LESS THAN A INCLUSE NOMBRAL (200 MM) & THE THICKNESS CHALL BE NOT                       | SEE SHEET G0.2, ELECTRIC READY 150.0(u) FOR  LEVEL AND WITHIN 25 FEET OF THE EQUIPMENT. THIS  REQUIREMENTS  RECEPTACLE SHALL BE GFCI-WP PROTECTED.   | CHANGES PER HOUR; SECTION 1203.3. CFM AND NOISE RATING MAXIMUM 3 SONE FOR              | WITH BATTERY BACKUP. SOUND AN ALARM  GFI = WATER PROOF GFCI  AUDIBLE IN ALL SLEEPING AREAS. ALARM  CT = COOKTOP/ GRILL 240 V            | \$3 THREE-WAY SWITCH R CEILING, RECESSED, ZERO CLEARANCE IC   |
| MOMENTARILY BUT CANT EXCEED 2.2GALLONS  LESS THAN 0.016 OF AN INCH (0.406 MM). EXHAUST DUCTS & DRYER  VENTS SHALL BE FOUNDED WITH PLOY DRAFT DAMPERS   | E2 OUTLET FOR NEW ELECTRIC HYBRID HEAT PUMP  E11 A DISCONNECTING MEANS CAPABLE OF DISCONNECTING AIR-CONDITIONING AND   | INTERMITTENT USE. SHALL BE ENERGY STAR RATED AND CONTROLLED BY A HUMIDISTAT CAPABLE OF | DEVICES SHALL BE INTERCONNECTED IN SUCH A  MANNER THAT THE ACTUATION OF ONE ALARM  MW = MICROWAYE 110 V                                 | \$D DIMMER SWITCH  \$C MOUNT 6" ABV COUNTER  RATED LED BULB  CEILING, RECESSED, ZERO CLEARANCE IC   |
| PER MIN. AT 60 PSI AND MUST DEFAULT TO A  WENTS SHALL BE EQUIPPED WITH BACK DRAFT DAMPERS  MAX. FLOW RATE OF 1.8GALLONS PER MIN AT 60 MP10 NEW WATER HEATER WITH T&P RELIEF VALVE AND DISCHARGE PIPE                               | WATER HEATER WITHIN 3' OF WATER HEATER.  REFRIGERATING EQUIPMENT, INCLUDING REFRIGERATING FOR SALVEY SPECIAL PROPERTY OF THE P | AN ADJUSTMENT BETWEEN 50-80% HUMIDITY. ONE OR MORE FANS TO OPERATE                     | WILL ACTIVATE ALL O F THE ALARMS IN THE UNIT.  GD = GARBAGE DISPOSAL 110 V  R = RANGE 220V  | \$ OCCUPANCY/VACANCY SENSOR RATED, WATER RESISTANT, LED BULB  |
| PSI., AND SHOWERS NOT EXCEED 1.8 GPM. AT 80 AT EXTERIOR. PROVIDE COMBUSTION AIR AND CLEARANCES PER PSI AND ALL SHALL BE CERTIFIED TO MEET THE MANUFACTURER REQUIREMENTS.   | SUBPANEL LOCATION. ALTERNATE LOCATION TO BE DETERMINED BY OWNER  SUBPANEL LOCATION. ALTERNATE LOCATION TO BE THE CIRCUIT CONDUCTOR IS REQUIRED WITHIN SIGHT FROM THE EQUIPMENT LOCATION PER CEC  | CONTINUOUSLY AT REQUIRED CFM PER HERS NOTES ON T1.1(OR GREATER) TO PROVIDE INDOOR      | SHALL COMPLY WITH THE FOLLOWING: C = COUNTER HEIGHT 6" ABV COUN   | TER MISC.  WALL MOUNTED LIGHT  J JUNCTION BOX FLUSH CEILING MOUNTED   |
| PERFORMANCE CRITERIA OF THE EPA WATERSENCE SPECIFICATIONS FOR  MP11 NEW WATER HEATERS SHALL HAVE ISOLATION VALVES ON BOTH THE  | E4 OUTLET AT COUNTER HEIGHT - SHALL COMPLY WITH  CEC ARTICLE 210 52(C): IN KITCHENS A RECEPTACLE   | AIR QUALITY. AT THE IAQ FAN SWITCH, A LABEL<br>CLEARLY DISPLAYING THE FOLLOWING OR     | A CEILING-MOUNTED FAN  W/D = WASHER/DRYER   | CEILING FAN/LIGHT COMBO  UNDER COUNTER LIGHTING   |
| SHOWERHEADS. CPC SECTIONS 407, 408, 411, 412 AND SECTION 301.1.1 CALGREEN CODE AND  COLD AND THE HOT WATER PIPING LEAVING THE WATER HEATER  COMPLETE WITH HOSE BIBS OR OTHER FITTINGS ON EACH VALVES                               | OUTLET SHALL BE INSTALLED AT EACH COUNTER  SPACE 12 OF WIDER: SHALL BE INSTALLED SO THAT   | EQUIVALENT TEXT IS REQUIRED: "THIS SWITCH CONTROLS THE INDOOR AIR QUALITY VENTILATION  | OPENING OF A BATHROOM  AT LEAS 20' FROM A COOKING APPLIANCE  AT LEAS 20' FROM A COOKING APPLIANCE  AT LEAS 20' FROM A COOKING APPLIANCE | CIRCUIT WIRING  |
| FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED  MP3 EXHAUST HOOD ABOVE/ TO BE SMOOTH  MP12 ALL DOMESTIC HOT WATER PIPING TO HAVE THE FOLLOWING   | NO POINT ALONG THE WALL IS MORE THAN 24"; ISLAND IN PENINSULAR COUNTERTOPS 12" X 24"  TO COMPLY WITH ELECTRICAL NOTES 15&16 ON SHEET G0.2  | FOR THE HOME. LEAVE IT ON UNLESS THE OUTDOOR AIR QUALITY IS VERY POOR.                 | OR 10' FROM COOKING APPLIANCE WHEN ————————————————————————————————————   | FLUORESCENT FIXTURE (USE SHALLOW TYPE WHEN UNDER COUNTER)   |
| MP3 EXHAUST HOOD ABOVE/ TO BE SMOOTH METALLIC INTERIOR SURFACE (CMC 504.3)  MP12 ALL DOMESTIC HOT WATER PIPING TO HAVE THE FOLLOWING MINIMUM INSULATION INSTALLED:  \$\frac{1}{2}\text{" PIPE (\$\frac{1}{2}\text{" INSULATION);}} | LONG (OR GREATER) SHALL HAVE AT LEAST ONCE  E13  MAIN PANELBOARD LOCATION SHALL HAVE A  RECEPTACLE  MINIMUM BUSBAR RATING OF 225 AMPS.   | DUCT SYSTEMS ARE SIZED, DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING         | PER NFPA 72 SECTION 29.8.3.4 ITEM 4 RECEPTACLE, VERIFY LOCATION IN  |   |
| MP4 NEW 40 GAL. HEAT PUMP WATER HEATER - TO 3/4" PIPE (1" INSULATION);   | E5 OUTDOOR LIGHTING FIXTURES ARE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A COMBINATION OR TWO DWELLING UNITS SHALL MEET THE  | METHODS.:  1. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES                                 | HEATING /COOLING SYSTEM SPECIAL PURPOSE CONNECTION  | BATHROOM EXHAUST FAN REQUIREMENTS:PER CGBC 4.506.1- EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING: 1. FANS SHALL BE ENERGY                                     |
| HIGHER THAN 2' ABOVE THE BASE OF THE HEATER THAT ALSO ALLOWS GRAVITY DRAINAGE MP13 OUTDOOR CONDENSING UNIT TO BE PIPED TO INDOOR HVAC UNIT   | PHOTOCONTROL / MOTION SENSOR.  FOLLOWING ENERGY STORAGE SYSTEMS (ESS) READY REQUIREMENTS. ALL ELECTRICAL   | ACCORDING TO ANSI/ ACCA 2 MANUAL J-2011 OR EQUIVALENT.                                 | CM CARBON MONOXIDE ALARM PERMANENTLY (VOLTAGE SHALL MATCH WIRED WITH BATTERY BACKUP PER SECTION APPLIANCE REQ.)                         | STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING. 2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY                     |
| MP5   CONTROL VALVES IN SHOWERS, BATHTUBS, &   | E6 OUTLET DEDICATED FOR INDOOR HVAC UNIT  COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CEC. SEE SHEET G0.2, ELECTRIC READY   | 2. SIZE DUCT SYSTEMS ACCORDING TO ANSI/ ACCA I MANUEL D-2014 OR EQUIVALENT.            | R315. ALARMS SHALL BE INTERCONNECTED IN SUB PANEL SUCH A MANNER THAT THE ACTUATION OF ONE   | CONTROL. A. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF   |
| THERMOSTATIC MIX VALVES RANGE INDOOR AIR QUALITY FAN IS REQUIRED IN THE KITCHEN AND  | WEATHER RESISTANT TYPE RECEPTACLES GFCI PROTECTED 150.0(s) FOR REQUIREMENTS SUFFICIENT SPACE SHALL BE RESERVED TO ALLOW  | 3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ ACCA 3 MANUAL S-2014 OR     | ALARM WILL ACTIVATE ALL O F THE ALARMS IN   | MEANS OF ADJUSTMENT. B. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL(I.E. BUILT IN)   |
| MP6 MINIMUM OF 3 FT CLEARANCE TO ANY OPENING INTO BUILDING FOR EXHAUST FAN  SHALL BE HERS VERIFIED. (CALIFORNIA ENERGY CODE TABLE 150.0-G  | FUTURE INSTALLATION OF A SYSTEM ISOLATION  | EQUIVALENT . RETURN AIR GRILLE, WALL MOUNTED   |   |   |
| TERMINATIONS  CLEARANCE FOR WATER CLOSET TO BE A MIN.  MP15 WATER HEATERS WITH STORAGE TANKS SHALL BE ANCHORED OR  STRAPPED TO RESIST HORIZONTAL DISPLACE DUE TO EARTHQUAKE  | PANEL- ALUMINUM CONDUCTOR BURIED UNDER  MAIN PANELBOARD. RACEWAYS SHALL BE INSTALLED  PETWEEN THE PANEL POARD & THE SYSTEM   | SUPPLY AIR DIFFUSER, WALL MOUNTED  |   | RESIDENTIAL ENERGY LIGHTING REQUIREMENTS:ES 150.0(K)  |
| OF 24" IN FRONT, AND 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. (CPC 402.5)  MOTION. STRAPPING SHALL BE AT POINTS WITH THE UPPER ONE-THIRD AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSIONS                                | GROUND WITH AWG ALLOWABLE VOLTAGE BROP PER ISOLATION EQUIPMENT/TRANSFER SWITCH LOCATION TO ALLOW THE CONNECTION OF BACKUP POWER  | SOFTET AIR BITT GOLIN, WALL IMOUNTED   |   | BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS AND WALK-IN CLOSETS, AT LEAST ONE INSTALLED LUMINAIRE SHALL BE CONTROLLED BY AN OCCUPANCY OR VACANCY SENSOR PROVIDING AUTOMATIC-OFF FUNCTIONALITY. |
| MP8 THE 1/2" SIZE HOT WATER PIPE TO THE KITCHEN SINK AND THE COLD WATER PIPE WITHIN 5' OF ABOVE THE CONTROLS WITH THE STRAPPING.   | 250.4 E16 LIGHTS OVER TUBS AND SHOWERS ARE TO BE   | T THERMOSTAT   |   | *ALL THROUGHOUT THE RESIDENCE, INCLUDING THE GARAGE AND EXTERIOR, SHALL BE HIGH EFFICACY.   |
| WATER HEATER BOTH REQUIRE 1" INSULATION  ABOVE THE CONTROLS WITH THE STRAPPING.  | MARKED FOR DAMP/WET LOCATIONS WHERE  | HOSE BIB   |   |   |

HOSE BIB





project

City of Gonzales Pre-Approved ADU Plans

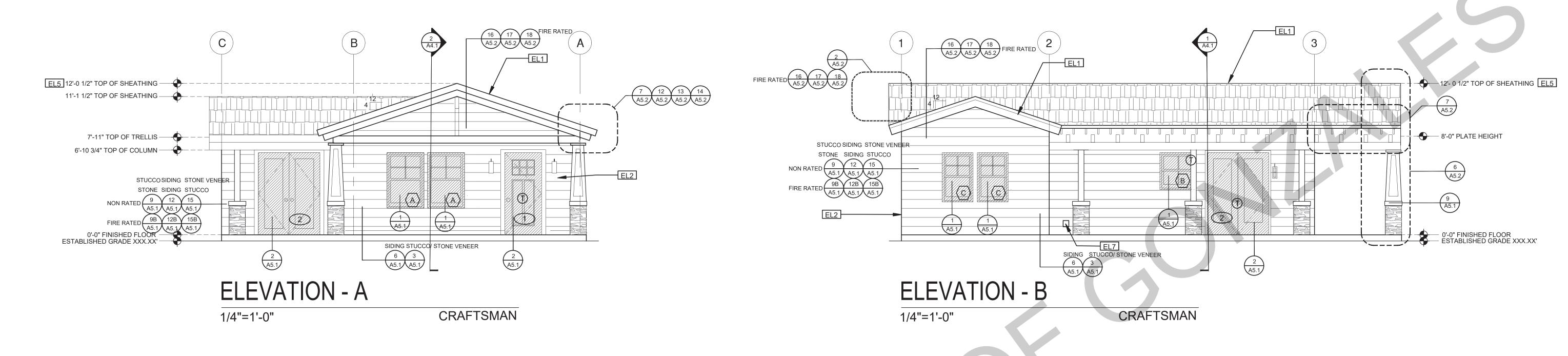
revisions

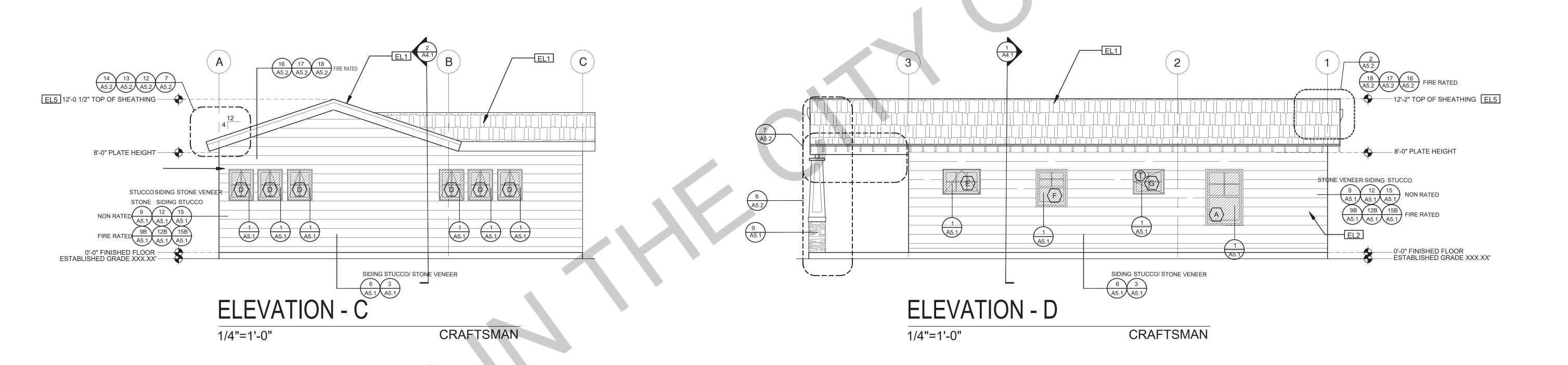
description Exterior Elevations Craftsman

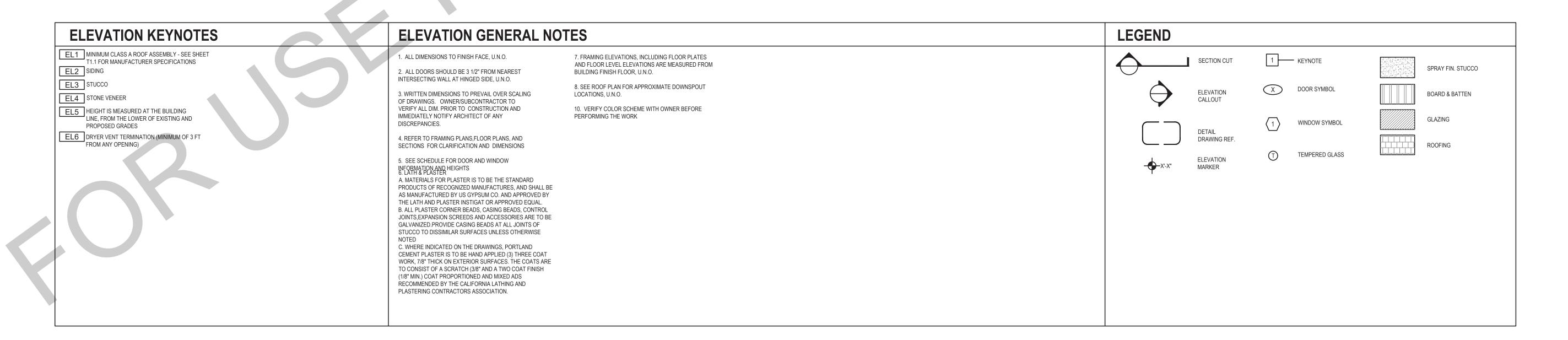
September 2023

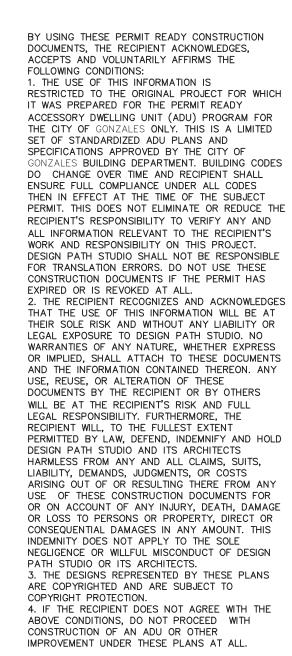
project no.

drawn by design path studio









project

City of Gonzales Pre-Approved ADU **Plans** 

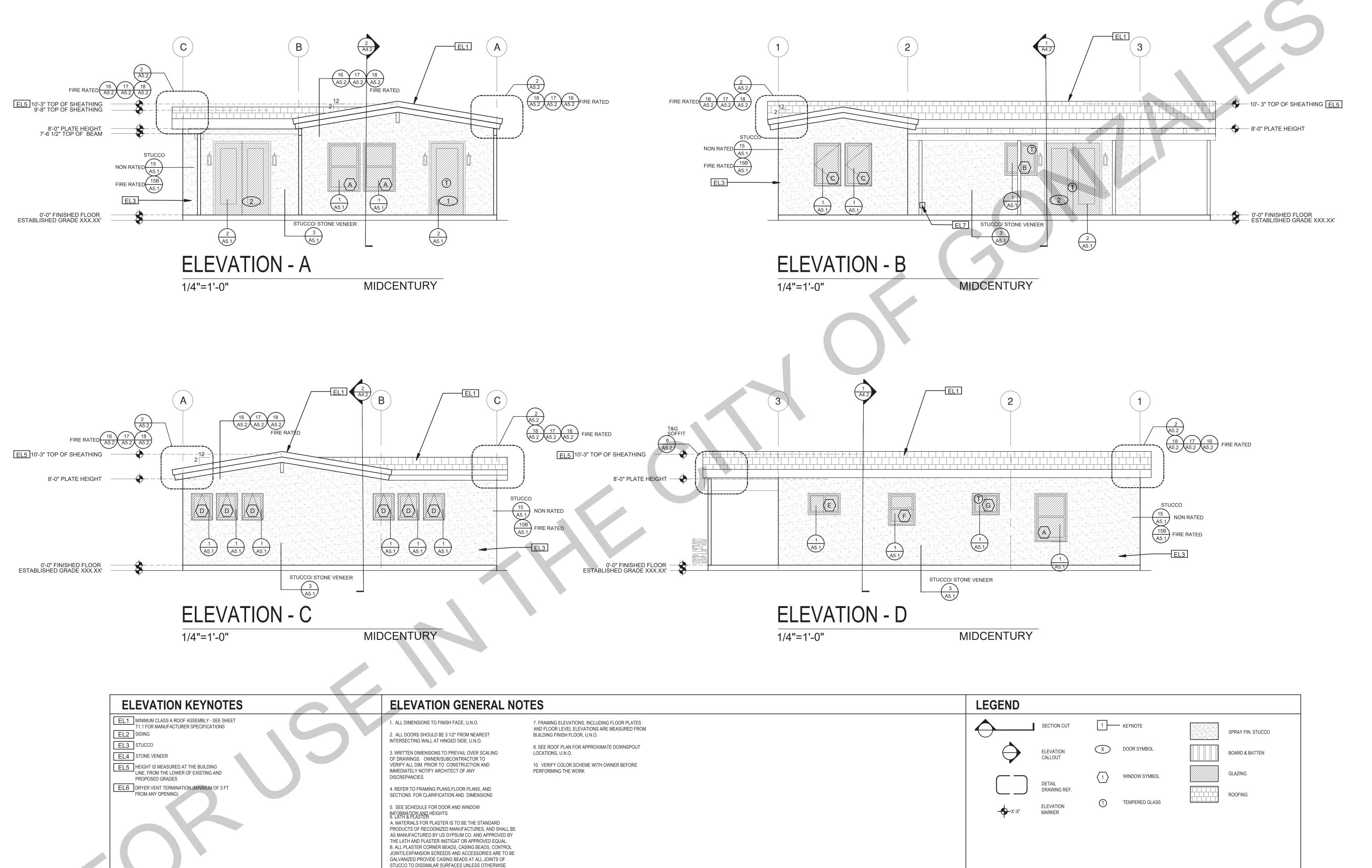
revisions

description Exterior Elevations Midcentury

September 2023

project no.

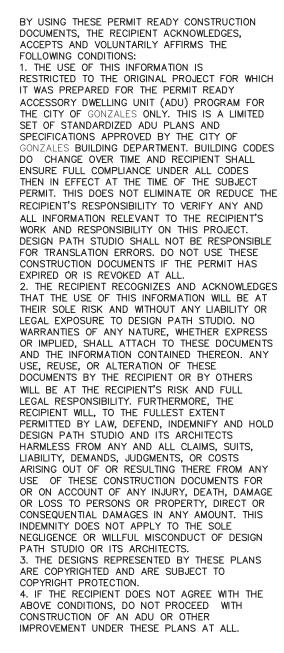
drawn by DESIGN PATH STUDIO



C. WHERE INDICATED ON THE DRAWINGS, PORTLAND CEMENT PLASTER IS TO BE HAND APPLIED (3) THREE COAT

WORK, 7/8" THICK ON EXTERIOR SURFACES. THE COATS ARE TO CONSIST OF A SCRATCH (3/8" AND A TWO COAT FINISH (1/8" MIN.) COAT PROPORTIONED AND MIXED ADS RECOMMENDED BY THE CALIFORNIA LATHING AND PLASTERING CONTRACTORS ASSOCIATION.







City of Gonzales Pre-Approved ADU Plans

revisions

A

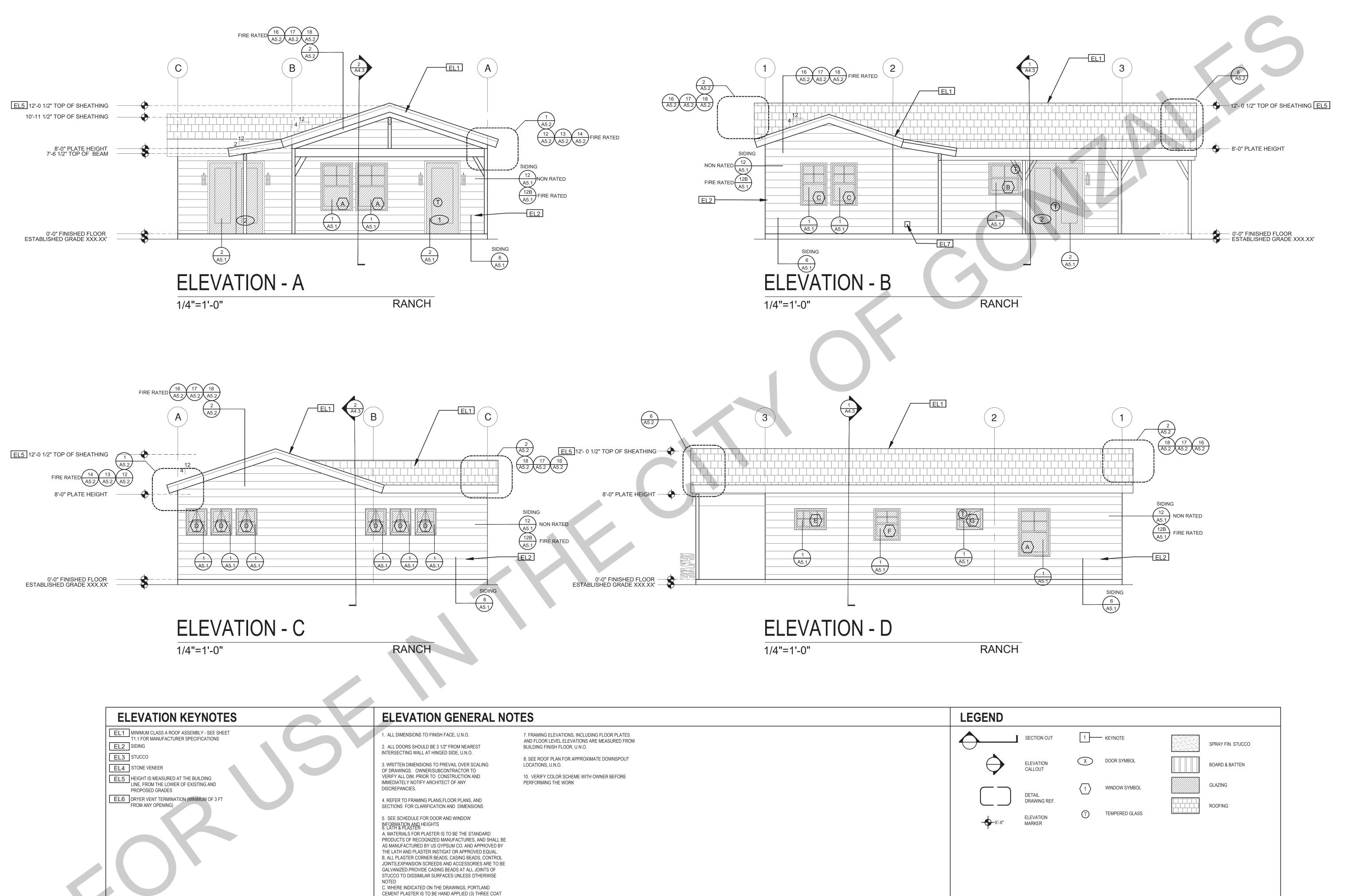
description
Exterior
Elevations
Ranch

date September 2023

project no.

drawn by DESIGN PATH STUDIO

A3.3



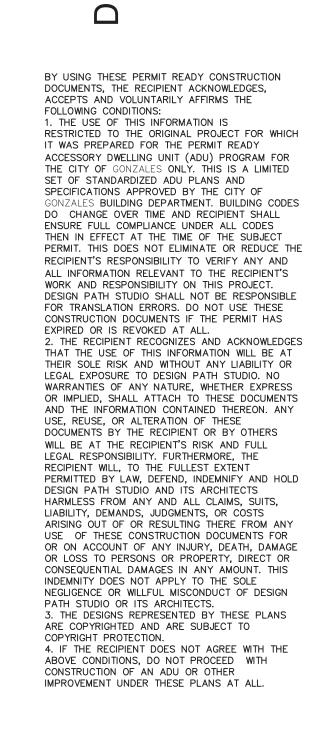
WORK, 7/8" THICK ON EXTERIOR SURFACES. THE COATS ARE TO CONSIST OF A SCRATCH (3/8" AND A TWO COAT FINISH (1/8" MIN.) COAT PROPORTIONED AND MIXED ADS RECOMMENDED BY THE CALIFORNIA LATHING AND PLASTERING CONTRACTORS ASSOCIATION.



- 11'- 7" TOP OF SHEATHING EL5

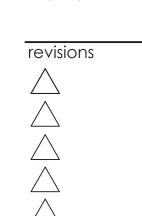
8'-0" PLATE HEIGHT

0'-0" FINISHED FLOOR
ESTABLISHED GRADE XXX.XX'





City of Gonzales Pre-Approved ADU **Plans** 

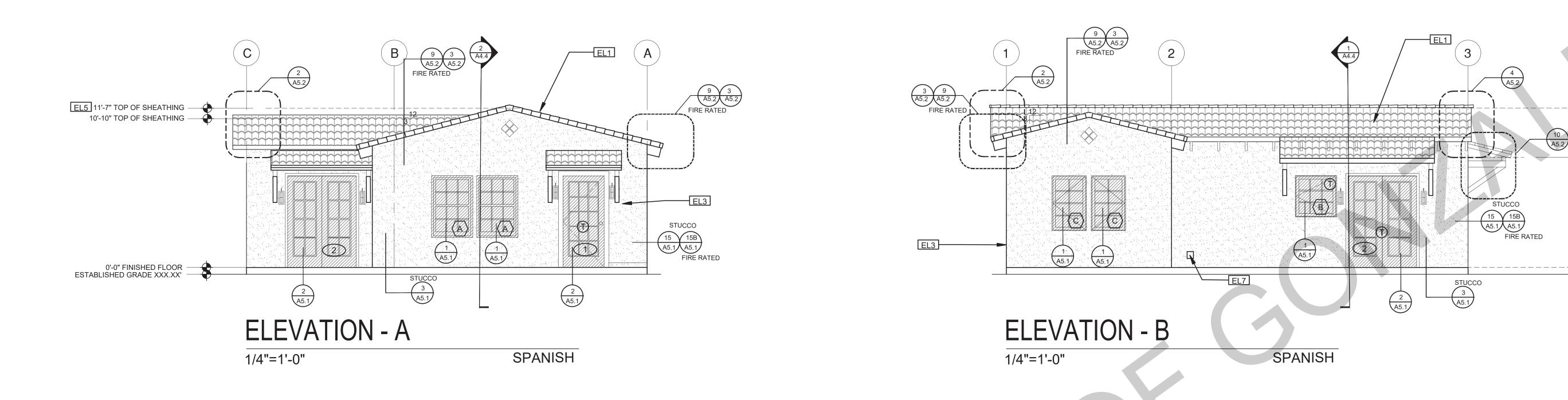


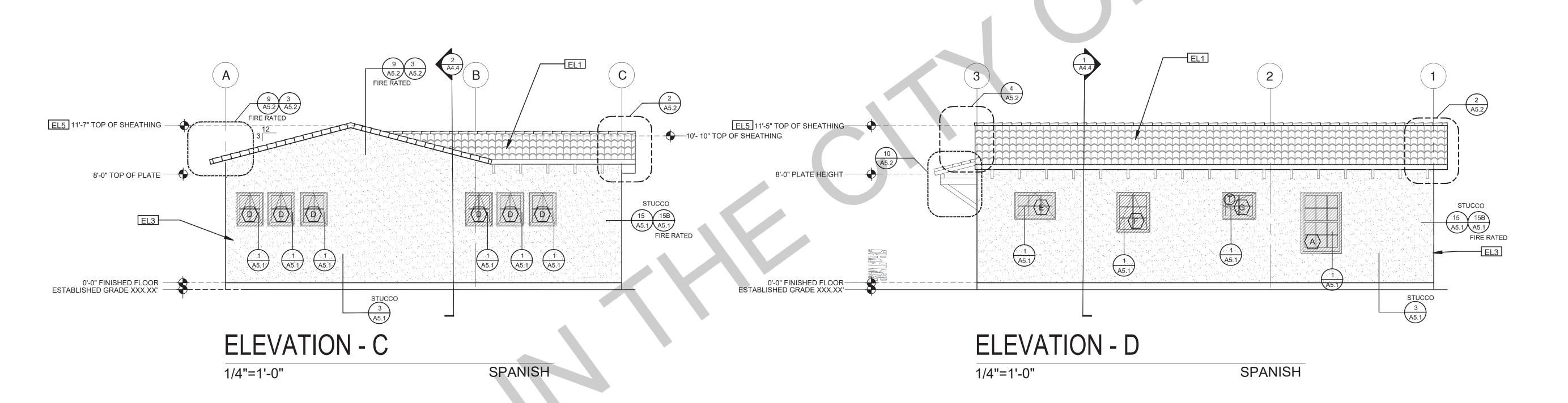
description Exterior Elevations Spanish

date September 2023

project no.

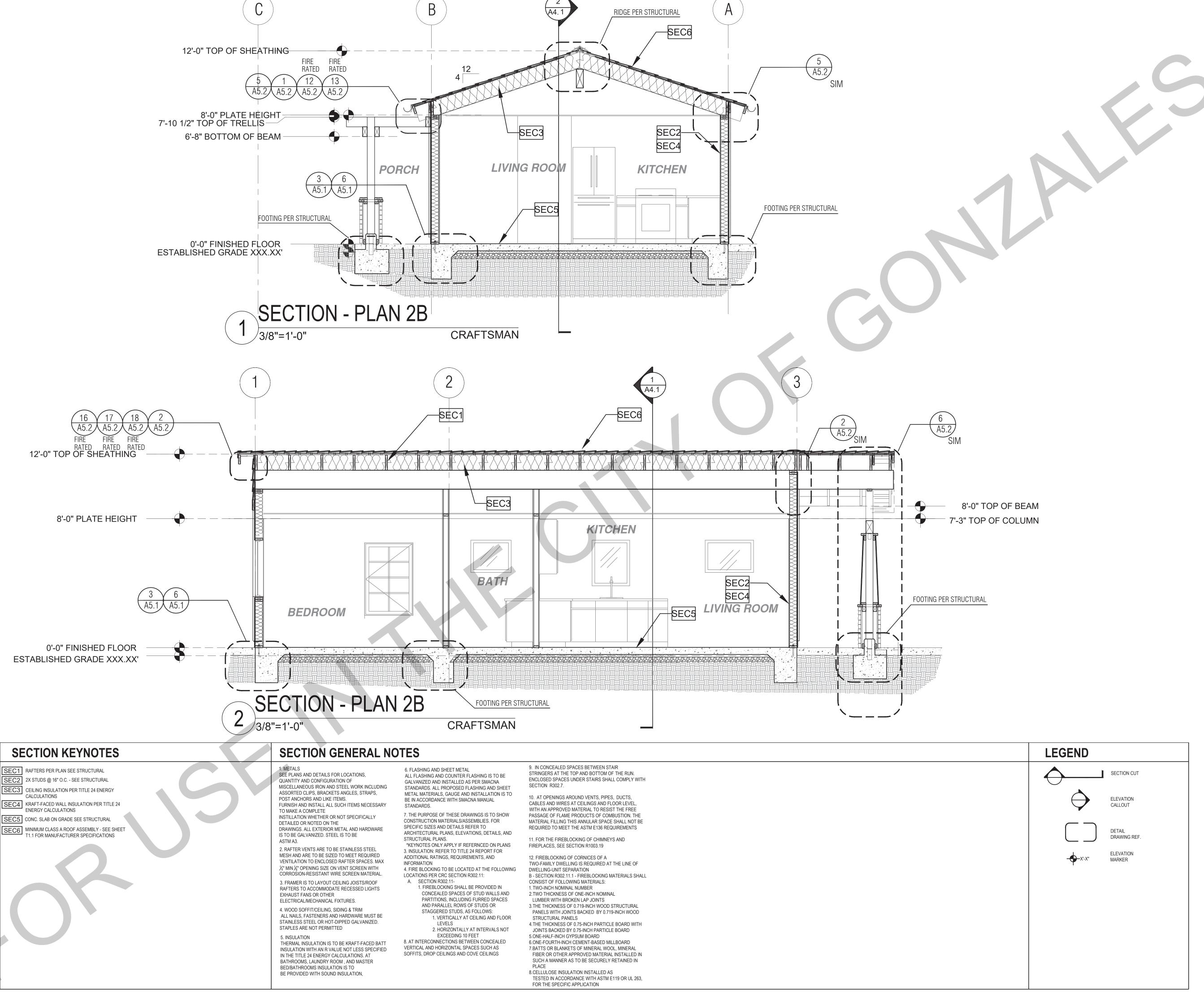
drawn by DESIGN PATH STUDIO





| ELEVATION KEYNOTES   | ELEVATION GENERAL NOTES  | LEGEND           |
|--|--|------------------|
| EL1 MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS  EL2 SIDING  EL3 STUCCO  EL4 STONE VENEER  EL5 HEIGHT IS MEASURED AT THE BUILDING LINE, FROM THE LOWER OF EXISTING AND PROPOSED GRADES  EL6 DRYER VENT TERMINATION (MINIMUM OF 3 FT FROM ANY OPENING) | 1. ALL DIMENSIONS TO FINISH FACE, U.N.O. 2. ALL DOORS SHOULD BE 3 1/2" FROM NEAREST INTERSECTING YALL AT THINGED SIDE, U.N.O. 3. WISHTED DIMENSIONS TO REPAIN OVER SCAUND OF BRAINING SIDE OF BRA | SECTION CUT    1 |





BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF GONZALES ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF GONZALES BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.
2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES

THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS

AND THE INFORMATION CONTAINED THEREON. ANY

PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.

4. IF THE RECIPIENT DOES NOT AGREE WITH THE

ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT

project

City of Gonzales
Pre-Approved ADU
Plans

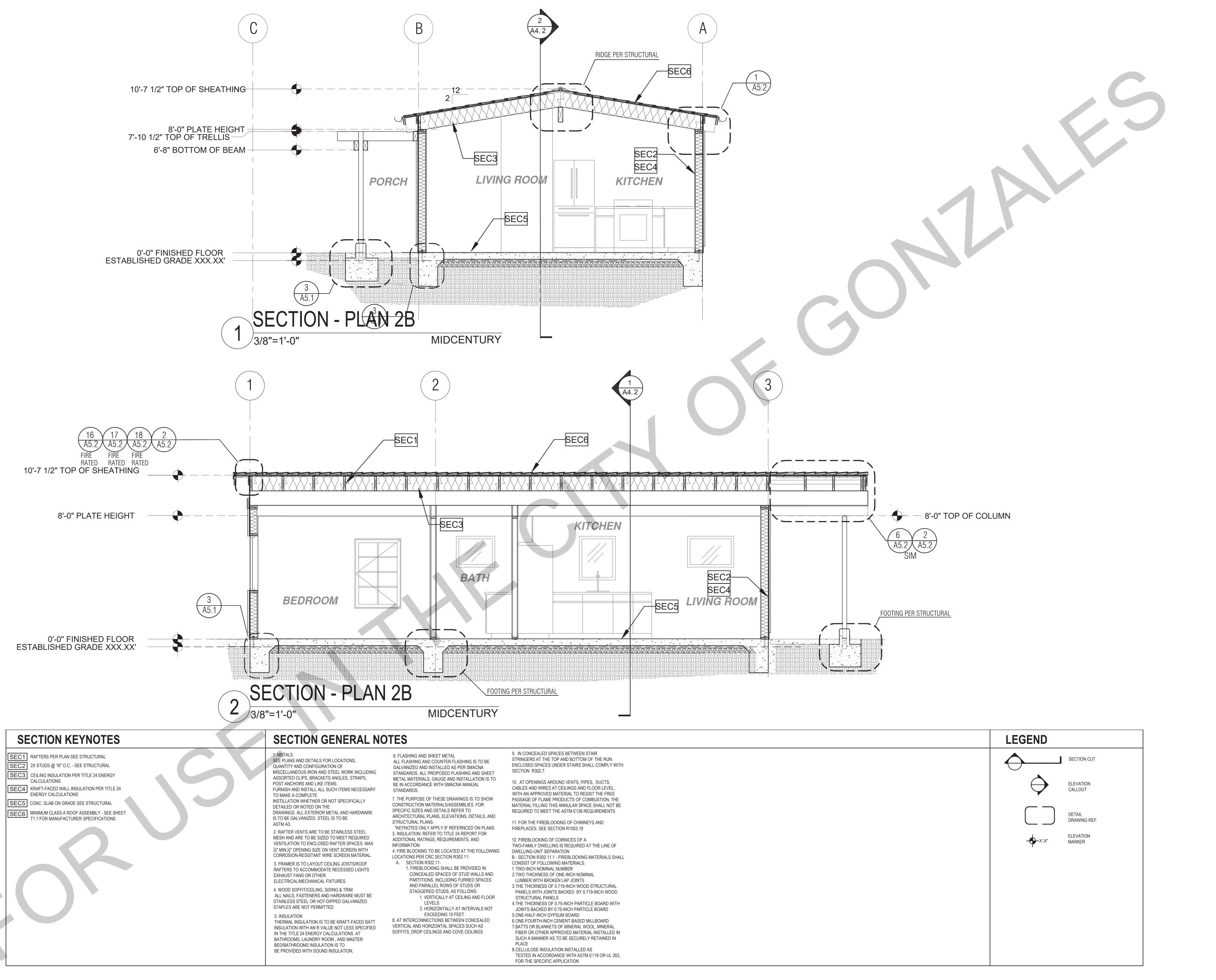
Building
Sections
Craftsman

date September 2023

project no.

drawn by DESIGN PATH STUDIO

et no. **A4.** 1



BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF GONZALES ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF GONZALES BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.
2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. 4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

project

City of Gonzales
Pre-Approved ADU
Plans

Building
Sections
Midcentury

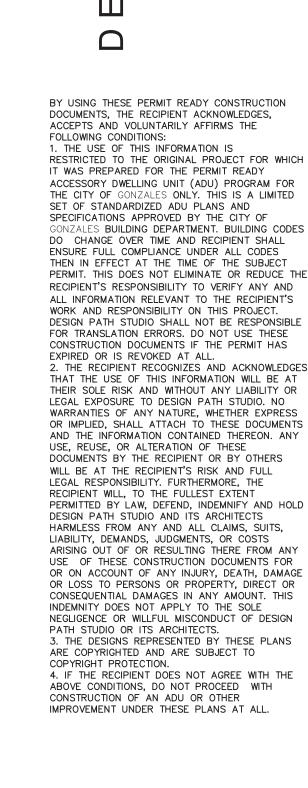
date September 2023

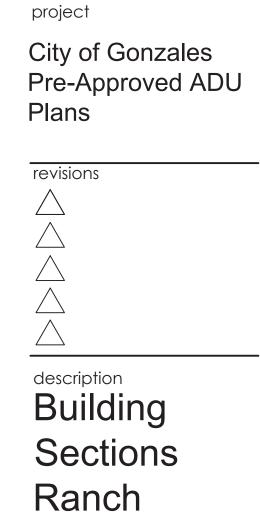
project no.

drawn by DESIGN PATH STUDIO

eet no. A4.2





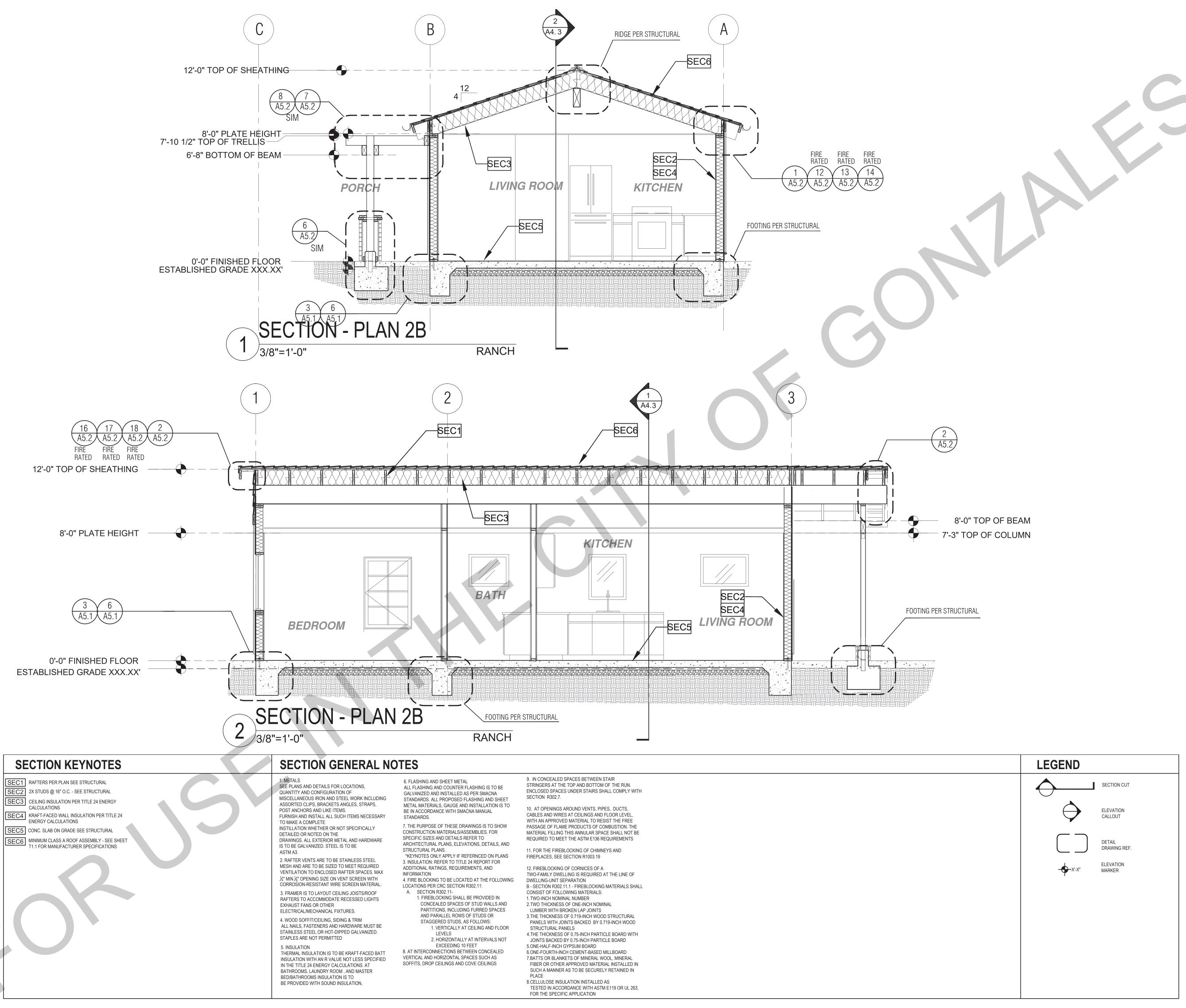


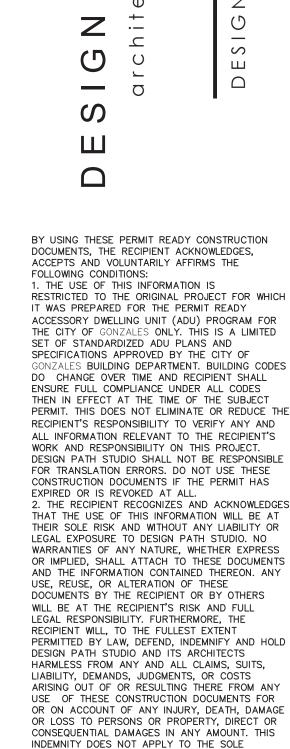
date September 2023

project no.

drawn by DESIGN PATH STUDIO

A4.3



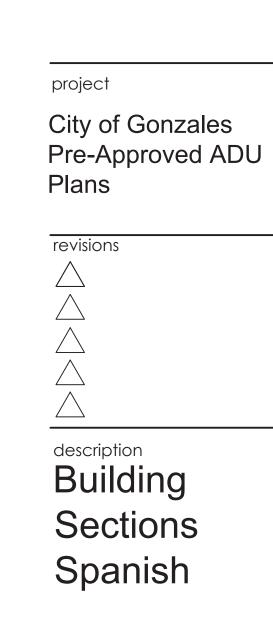


NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.

4. IF THE RECIPIENT DOES NOT AGREE WITH THE

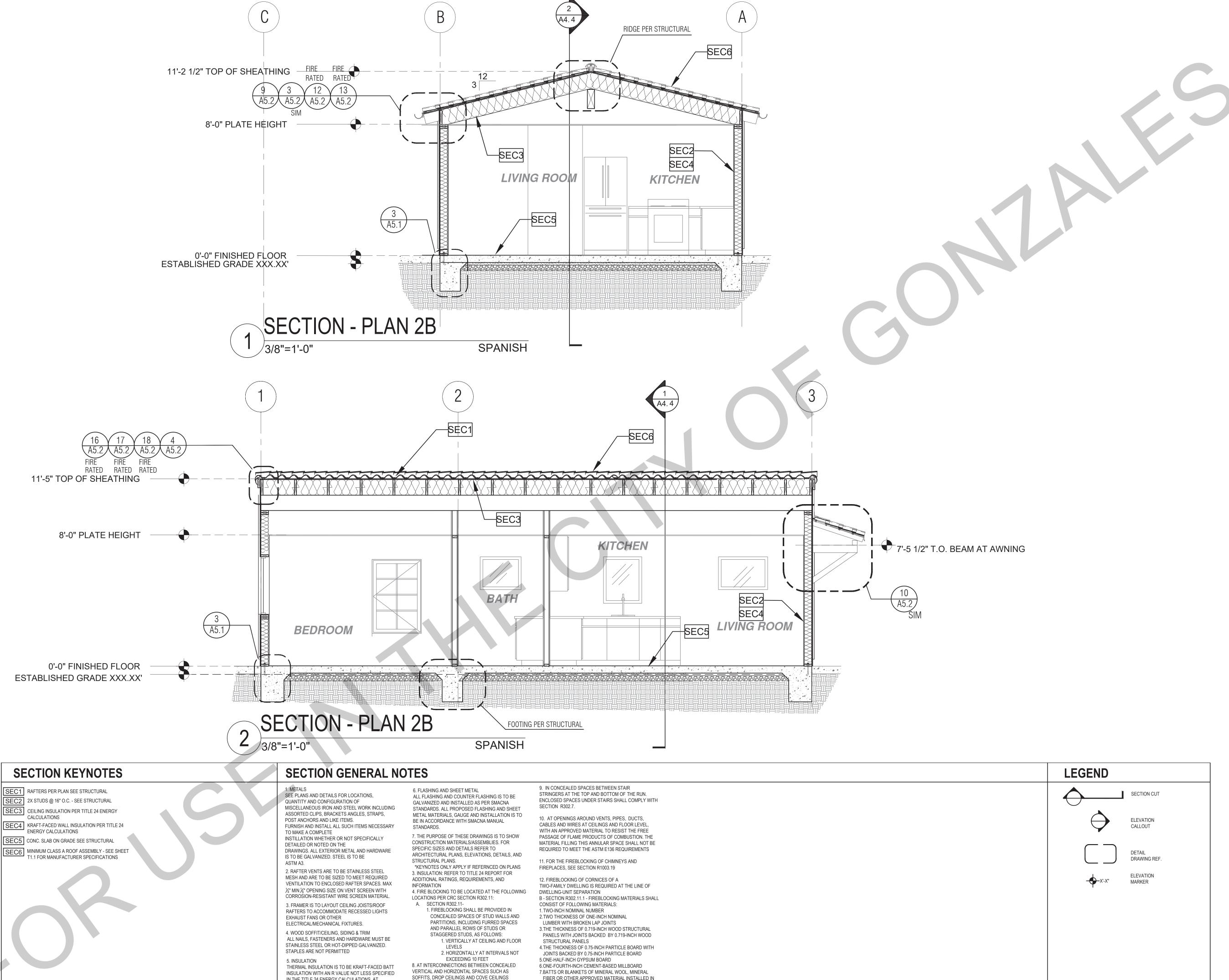
ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.



date September 2023

project no.

drawn by design path studio



FIBER OR OTHER APPROVED MATERIAL INSTALLED IN

SUCH A MANNER AS TO BE SECURELY RETAINED IN

TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263,

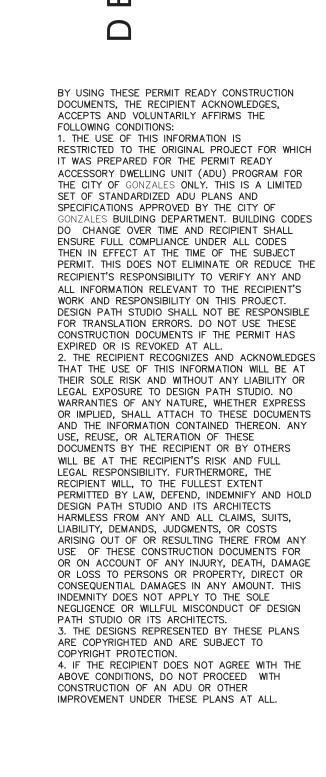
8.CELLULOSE INSULATION INSTALLED AS

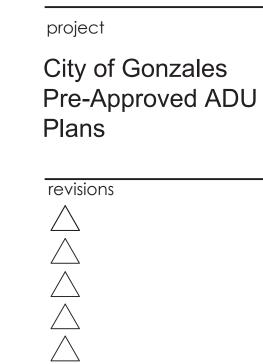
FOR THE SPECIFIC APPLICATION

IN THE TITLE 24 ENERGY CALCULATIONS. AT

BATHROOMS, LAUNDRY ROOM , AND MASTER BED/BATHROOMS INSULATION IS TO

BE PROVIDED WITH SOUND INSULATION,





# Architectural Wall Finish

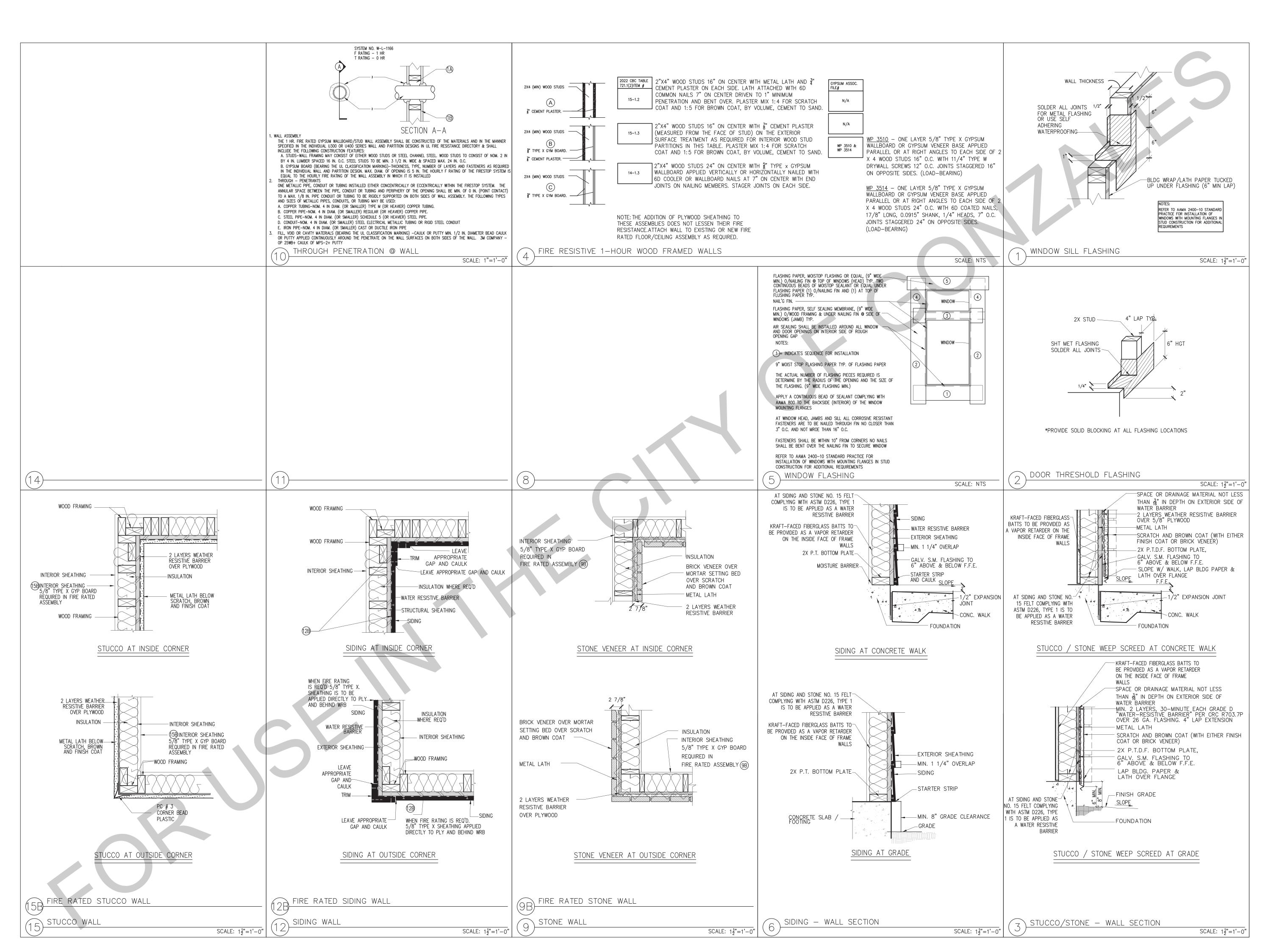
Details

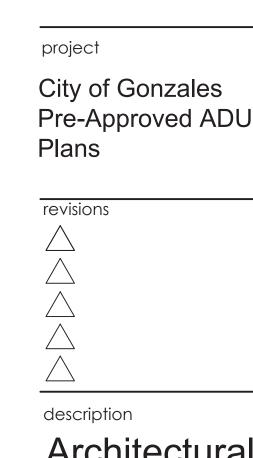
date September 2023

project no.

drawn by DESIGN PATH STUDIO

A5.1





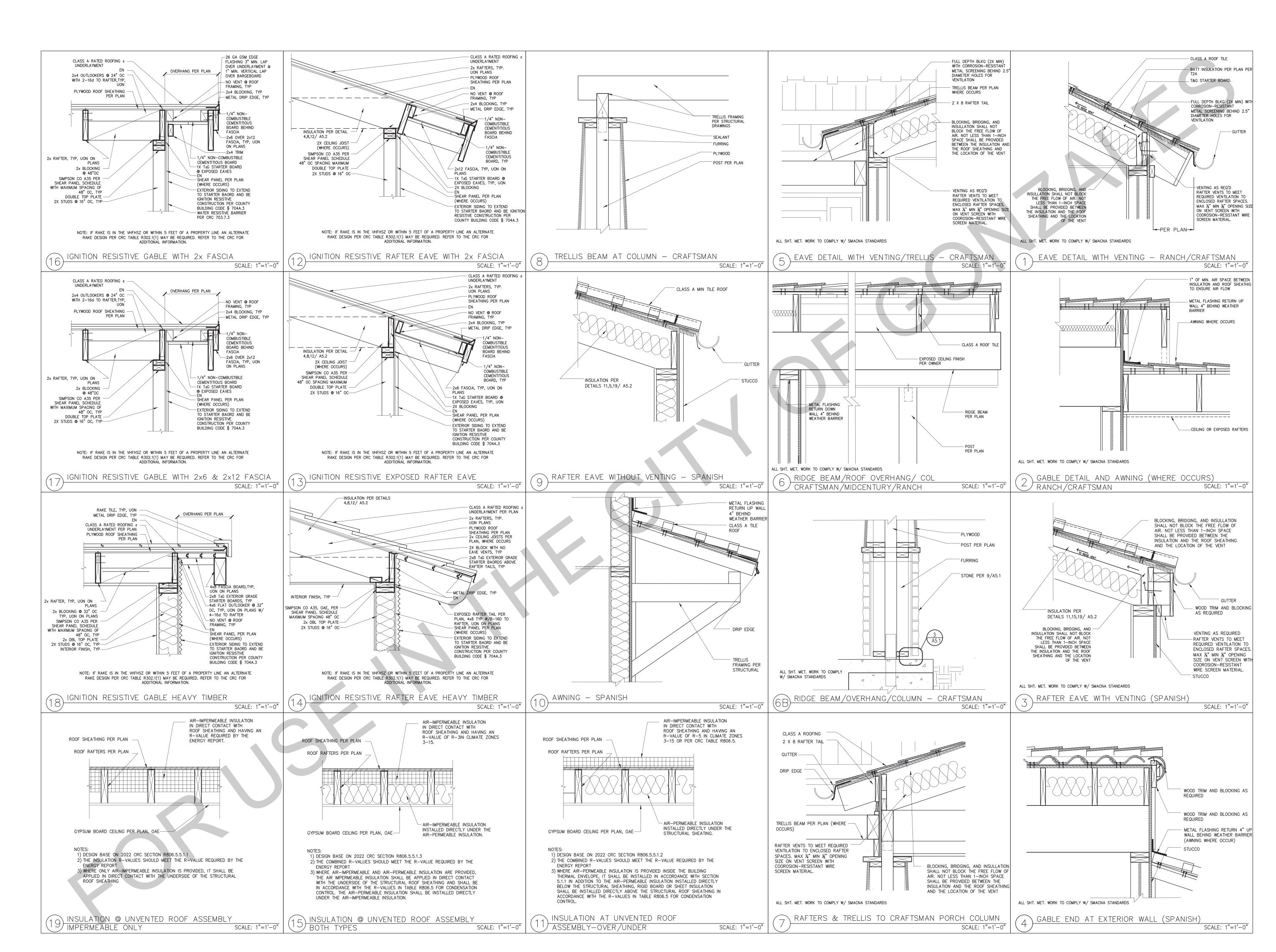
# Architectural Roof Finish Details

date September 2023

project no.

drawn by DESIGN PATH STUDIO

A5.2



DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, CCEPTS AND VOLUNTARILY AFFIRMS THE THE USE OF THIS INFORMATION IS ESTRICTED TO THE ORIGINAL PROJECT FOR WHICH WAS PREPARED FOR THE PERMIT READY CCESSORY DWELLING UNIT (ADU) PROGRAM FOR SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF ZALES BUILDING DEPARTMENT, BUILDING CODES 4-8d box, 4-1.75" 16 Gage staples, 3-8d Com, 3-10d Box CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGE HAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE. WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. AN' USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW DEFEND INDEMNIEY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM AN USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY DEATH DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS NDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO 4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

project

City of Gonzales Pre-Approved ADU Plans

revisions

description

## Structural Notes & Specifications

date September 2023

project no.

drawn by Design Path Studio

sheet no.

WOOD FRAMING CONSTRUCTION (CONT.)

ROOF TO WALL: CONNECT ROOF FRAMING TO TOP PLATE W/ SIMPSON H1 @ 24" O/C OR A35 OR RBC @ 24" O/C OR PER SHEAR TRANSFER DETAILS.

#### SILL PLATE ANCHORS:

- 306. GROUND FLOOR / SLAB ON GRADE WALLS: PROVIDE 2X (MIN.) PTDF SILL PLATES SEE CONCRETE FOUNDATION CONSTRUCTION NOTES 206, 207 & 208 FOR ANCHOR BOLTS. AT INTERIOR NON-SHEAR CONDITIONS, 0.145 SHOT PIN ANCHORS @ 32" O/C MAY BE USED TO CONNECT PARTITIONS AND BEARING WALLS TO SLAB.
- 307. ALL WOOD SILL PLATES AND ALL WOOD MEMBERS DIRECTLY AGAINST CONCRETE OR MASONRY SHALL BE FOUNDATION GRADE REDWOOD SILLS OR PTDF SILLS, TREATED WITH SODIUM BORATE (SBX/DOT) WHEN INSTALLED IN A DRY OR ENCLOSED ENVIRONMENT. (SODIUM BORATE TREATMENT DOES NOT REQUIRE CORROSION RESISTANT CONNECTORS. IF OTHER TREATMENTS ARE USED, SEE NOTE 309.
- 308. FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD: ALL NAILS AND FASTENERS IN CONTACT WITH PRESSURE TREATED LUMBER TREATED WITH ACQ-C. ACQ-D. CA-B. AND CBA-A WITHOUT AMMONIA SHALL BE GALVANIZED PER ASTM A153.
- ALL NAILS AND FASTENERS IN CONTACT WITH PRESSURE TREATED LUMBER TREATED WITH ACQ-C, ACQ-D, CA-B, AND CBA-A WITH AMMONIA SHALL BE TYPE 303, 304, 305 OR 316 STAINLESS STEEL
- WHERE PRESSURE TREATED LUMBER IS INSTALLED IN AN EXTERIOR WET ENVIRONMENT. ALL NAILS AND FASTENERS IN CONTACT WITH THE PRESSURE TREATED LUMBER SHALL BE TYPE 303, 304, 305, OR 316 STAINLESS STEEL
- 309. RE-TIGHTEN ALL HOLDOWN ANCHORS JUST PRIOR TO COVERING THE WALL FRAMING.
- 310. ENGINEERED BEAMS ARE AS FOLLOWS: "PSL" REFERS TO PARALLEL STRAND LUMBER (E=2.0, FB=2900) "LSL" REFERS TO LAMINATED STRAND LUMBER (E=1.55, FB=2325) (E=1.3 & FB=1700 AT LSL CONDITIONS WITH D (DEPTH) < 9") "LVL" REFERS TO LAMINATED VENEER LUMBER (E=2.0, FB=2800) "GLB" REFERS TO 24F-1.8E GLU-LAM WITH STANDARD CAMBER, U.N.O. "IJC" ENGINEERED GLU-LAM BEAM MAY BE USED UPON ENGINEER APPROVALS. AN A.I.T.C CERTIFICATE OF COMPLIANCE ISSUED BY A CURRENT ICC APPROVED QUALITY CONTROL AGENCY FOR GLUED LAMINATED WOOD MEMBERS SHALL BE GIVEN TO THE BUILDING INSPECTOR PRIOR TO INSTALLATION
- 311. LUMBER SPECIFICATIONS: ALL FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH, STUDS, PLATES & BLOCKING: 2X4 FRAMING LUMBER NOT LISTED BELOW STANDARD GRADE OR BETTER 92-1/4", 104-1/4", & 116-1/4" 2X4 STUDS STUD GRADE OR BETTER 2X4 STUDS OVER 10' #2 OR BETTER 2X4 SILLS & PLATES STANDARD OR BETTER 2X6 STUDS, SILLS, & PLATES #2 OR BETTER 4X4 STUDS & POSTS STANDARD OR BETTER OR #1 4X6. 6X6. & LARGER STUDS & POSTS #1 OR BETTER 4X4. 4X6. 4X8 BEAMS & HEADERS #2 OR BETTER 4X10, 4X12, 4X14 BEAMS & HEADERS **#1 OR BETTER** 6X4 BEAMS & HEADERS #2 OR BETTER 6X6 & LARGER BEAM & HEADERS **#1 OR BETTER** 2X6 AND LARGER RAFTERS AND JOISTS #2 OR BETTER
- 312. HOLES, CUTOUTS, AND NOTCHES IN FRAMING MEMBERS: BY VIRTUE OF CODE COMPLIANCE WITH ELECTRICAL AND PLUMBING CODES, HOLES AND NOTCHES WILL INEVITABLY BE MADE IN FRAMING MEMBERS. THE CODE RECOGNIZES AND APPROVES VARIOUS HOLES AND NOTCHES WITHOUT ENGINEERING JUSTIFICATION IN CBC SECTION 2308.8.2. ENGINEERED (PSL, LSL) RECTANGULAR LUMBER BEAMS BEHAVE LIKE ANY OTHER RECTANGULAR SHAPE WHEN NOTCHED OR BORED, SO THE ENGINEER OR ARCHITECT MAY SPECIFY LIMITS WITHOUT MANUFACTURER APPROVAL OTHER HOLES AND NOTCHES ARE ALLOWED AS NOTED BELOW:

PSL AND LVL BEAMS: A HOLE 1 INCH IN DIAMETER CAN BE DRILLED ANYWHERE, AND A 2 INCH DIA. HOLE CAN BE DRILLED IN THE MIDDLE THIRD OF THE SPAN IN THE MIDDLE THIRD OF THE DEPTH OF THE BEAM FOR ANY PSL OR LVL BEAM, EXCEPT CANTILEVERED BEAMS AND BEAMS SUPPORTING CONCENTRATED LOADS. HOLES IN THOSE CONDITIONS REQUIRE APPROVAL IN WRITING FROM THE ENGINEER.

PSL AND LVL BEAMS: A RAKE CUT (TAPER) AT THE TOP OF THE BEAM AT THE END OF THE SUPPORT IS ALLOWED IF NOTED ON PLANS, TO A MINIMUM OF 4-3/8" AT INSIDE FACE OF SUPPORT. RAKE CUT (TAPER) THAT RESULTS IN A DEPTH AT THE INSIDE FACE OF THE SUPPORT OF 2/3RDS THE BEAM DEPTH IS ALLOWED AT CONDITIONS NOT SPECIFIED. OTHER TAPERED ENDS AND SQUARE NOTCHES IN TOP OR BOTTOM FACE REQUIRE APPROVAL IN WRITING FROM THE ENGINEER OR ARCHITECT.

STUDS AND PLATES: SEE STRUCTURAL DETAILS 14 & 16 ON SHEET S4 FOR NOTCHING AND BORING.

- 13. PROVIDE 2X4 TRIMMER & 2X4 KING STUD EACH END OF EACH 4X DROPPED BEAM OR HEADER. PROVIDE DOUBLE TRIMMERS AT EACH 4X10 OR LARGER. PROVIDE DOUBLE TRIMMERS AT EACH 3-1/2 X 7-1/2 PSL OR LSL OR LARGER
- 314. PROVIDE 2X6 TRIMMER & 2X6 KING STUD EACH END OF EACH 6X DROPPED BEAM OR HEADER. PROVIDE DOUBLE TRIMMERS AT EACH 6X8 OR LARGER. PROVIDE DOUBLE TRIMMERS AT EACH 5-1/4 X 7-1/2 PSL OR LSL OR LARGER.
- 315. PROVIDE DOUBLE KING STUDS AT ALL OPENINGS 8'-1" WIDE AND WIDER OR PER PLAN.
- 316. PROVIDE MINIMUM 2-1/4" BEARING @ EACH END OF EACH FLUSH BEAM OR HEADER WHERE BEARING IS ON TOP PLATE. PROVIDE 2X4 STUD WITHIN 3" OF BEARING POINT. PROVIDE (2) 2X STUDS @ 6X OR LSL OR PSL BEAMS.
- 317. ROOF RAFTERS SHALL BE 2X RAFTERS AS NOTED ON STRUCTURAL DRAWINGS
- 318. EAVES SHALL BE PER ARCHITECTURAL PLANS W/ APPLIED TAILS PER ARCHITECTURAL PLANS. OVERHANG DETAILS ARE NOT SHOWN ON STRUCTURAL PLANS.
- 319. SEE THE ARCHITECTURAL ROOF PLANS FOR ROOF PITCH AND ADDITIONAL INFORMATION. 320. COMBINE AND GROUP PLUMBING VENTS WHENEVER POSSIBLE TO MINIMIZE ROOF PENETRATIONS.

321. WOOD TO WOOD CONNECTORS SHALL BE SIMPSON STRONG TIE OR USP STRUCTURAL CONNECTORS. ALL SPECIFIED CONNECTOR CALL-OUTS ARE SIMPSON CATALOG CALL-OUTS. USP SUBSTITUTIONS SHALL HAVE A CAPACITY EQUAL TO OR GREATER THAN THE SIMPSON CATALOG VALUES. ANY OTHER ICC APPROVED METAL CONNECTOR MAY BE USED UPON APPROVAL BY THE ENGINEER OR ARCHITECT

3. WOOD FRAMING CONSTRUCTION (CONT.)

322. ICC APPROVED CONNECTORS SHALL BE USED WHERE CONNECTORS ARE SPECIFIED. UNLESS OTHERWISE NOTED, THE FOLLOWING BEAM AND JOIST HANGERS SHALL BE USED: BEAM OR JOIST SIMPSON/USP HANGER I-JOIST FLOOR JOISTS IUS, IUT, OR ITT HANGERS

1.75 X LSL AND LVL HU, HUS, OR WPU 2.69 X PSL AND LVL HU OR HWU 3.5 X PSL AND LVL HHUS OR HWU HHUS OR HWU 5.25 X PSL AND LVL 7 X PSL AND LVL HHUS OR HWU

AT BEAM HANGER CALLOUTS, IE HGUS OR HU BEAMS, THE CALLOUT IS ABBREVIATED THE HANGER WIDTH MAY BE OMITTED TO ALLOW FLEXIBILITY IN ORDERING. EXAMPLE: 2.69 PSL THE CALLOUT MAY READ HGUS12. AN HGUS2.75/12 OR HGUS412 (WITH FILLERS) ARE APPLICABLE. WHERE HANGERS OFFER (MIN) OR (MAX), NAIL TO APPLY (MAX) LOADS

- 823. WHERE SHEARWALL  $\,\,$  LENGTHS ARE SPECIFIED ON THE PLANS, THE LENGTH SHOWN IS AMINIMUM DIMENSION. THE SHEARWALL MAY BE LENGTHENED FOR CONSTRUCTION PURPOSES, BUT SHALL NOT BE REDUCED UNLESS OTHERWISE NOTED. ALL ENGINEERED WOOD PANEL SHEAR (PLYWOOD OR OSB) SHALL BE BLOCKED.
- <sup>324.</sup> THE FOLLOWING HOLES IN SHEARWALLS ARE ALLOWED A) APPROXIMATELY SQUARE HOLES NOTCHED. PUNCHED. OR CUT THAT ARE LESS THAN 25 SQ. INCHES
- B) APPROXIMATELY SQUARE HOLES CLEAN CUT OR BORED IN SHEARWALLS THAT ARE LESS THAN 64 SQ. INCHES (ONE HOLE PER 4' OF SHEARWALL. C) APPROXIMATELY SQUARE HOLES, LESS THAN 64 SQ, INCHES (ONE HOLE PER 8' OF SHEARWALL) WITH ALL EDGES BLOCKED & EDGE NAILED.

D) HOLES INDIVIDUALLY APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD.

- 325. STUDS SHALL BE SPACED @ 16" O/C MAX. UNLESS OTHERWISE SPECIFIED. USE STUD GRADE EXCEPT AT PLATE HEIGHTS HIGHER THAN 10'-0", THEN USE DF#2 OR BETTER
- 326. ALL FINISHES, WATERPROOFING, DRAINAGE, AND FIRE-RELATED ELEMENTS ARE BY THE ARCHITECT OF RECORD AND ARE REQUIRED EVEN THOUGH THEY MAY NOT BE SHOWN ON THE STRUCTURAL PLANS AND DETAILS
- 327. REDWOOD OR PRESSURE-TREATED LUMBER IS TO BE USED AT STRUCTURAL SUPPORTS FOR BUILDING, BALCONIES, PORCHES OR SIMILAR APPURTENANCES WHEN EXPOSED TO THE WEATHER WITHOUT ADEQUATE PROTECTION OF A ROOF, EAVE, OVERHANG, OR OTHER COVERING TO PREVENT MOISTURE OR WATER ACCUMULATION.

4. ICC-ES AND NER APPROVALS 400. PLYWOOD AND OSB PANELS:

401. JOISTS AND RAFTERS AND BEAMS: TRUS-JOIST TJI JOISTS AND PSL, LSL, & LVL--ICC-ES ESR-1387, 1153, BOISE CASCADE BCI JOISTS, VERSA-LAM, & VERSA-STRAND--ICC-ESR-1040, 1336 LOUISIANA PACIFIC JOISTS & BEAMS--ESR-1305, 2403 ROSEBURG JOISTS & BEAMS--ESR-1210, 1251

GLU-LAM BEAMS-- ESR-1940 PACIFIC WOOD TECH - ESR 2909

APA PLYWOOD & OSB--ESR-2586

402. WOOD CONNECTORS: SIMPSON CONNECTORS--ICC-ES ESR #S 1161, 1622, 1866, 2105, 2203, 2236, 2320, 2549, 2551, 2552, 2553, 2330, 2554, 2555, 2604, 2605, 2606, 2607, 2608, 2611, 2613, 2614, 2615, 2616, 2877, 2920, 3046 IAPMO ER-112, 130, 143, 192, 262 USP LUMBER CONNECTORS--ICC-ES ESR #S 1178, 1280, 1575, 1702, 1781, 1881, 1970, 2104, 2685, 1831, 1465, 2761, 2787, IAPMO ER-200

QUICK DRIVE WOOD SCREWS--ICC-ES ESR-1472 403. ADHESIVES & ANCHORS: SIMPSON EPOXY-TIE HIGH STRENGTH EPOXY (SET-XP)--ICC-ES ESR-1772, 2508. SIMPSON WEDGE-ALL (WA) WEDGE ANCHORS--ICC-ES ES-1771 SIMPSON TITEN HD--ICC-ESR-1056, 2713

#### HILTI X-DN, X-ZF, X-CF SHOT PINS--ICC-ES ER-1663, 1752, 2269 | 5. NAILING & FASTENING

SIMPSON SHOT PINS ICC-ES ESR-2138

- 500. 16D NAILS AS SHOWN ON THE DETAILS MAY BE COMMON, BOX, OR SINKER NAILS (0.135" MIN. DIA)
- 501. AS AN ALTERNATE TO THE COMMON AND BOX NAILS SPECIFIED IN THE STRUCTURAL PLANS, THE FOLLOWING "CUTLER" GUN NAILS (OR EQUAL) ARE ACCEPTABLE ALTERNATIVES.

502. ALTERNATE NAILING FOR ROOF SHEATHING: 8D 2 $\frac{1}{2}$ " X 0.135 WIRE BARBED NAILS BY CUTLER OR EQUAL.

503. ALTERNATE NAILING FOR FLOOR SHEATHING: #8 X 2" SELF SETTING WOOD SCREWS, OR 8D 2 $\frac{1}{2}$ " X 0.135 OR 0.148 SCREW SHANK FLOOR NAILS BY CUTLER OR EQUAL

0.148

0.148

0.162

 $1\frac{1}{4}$ "

504. SHEAR PANELS WHERE 8D COMMON NAILS ARE SPECIFIED: 10D 2 ½ " X 0.148" WIRE BARBED NAILS BY CUTLER OR EQUAL

12D

16D

3□ "

| NAILS          | SIZES               |                 |                  |                         | Ss   | 1.650  |
|----------------|---------------------|-----------------|------------------|-------------------------|--|--|
| SIZE O<br>NAIL | F STANDAR<br>LENGTH | D WIRE<br>GAUGE | SIZE<br>(INCHES) | PENETRATION<br>REQUIRED | S1   | 0.600  |
| BOX N          | IAILS               |                 | ,                |                         |  | ESISTING SYSTEM:BEARING WALL ANALYSIS<br>ATERAL FORCE PROCEDURE SEE STRUCTURAL |
| 6D             | 2"                  | 12□             | 0.099            | 1 "                     | CALCULATIONS FOR SD1                           | , SDS, DESIGN BASE SHEAR, Cs, & R FACTORS.                                     |
| 8D             | 2□ "                | 11 □            | 0.113            | 1 "                     |  |  |
| 10D            | 3"                  | 10□             | 0.128            | 1 🗆 "                   | 702. WIND DESIGN CRITERIA :                    |  |
| 12D            | 3"                  | 10□             | 0.128            | 1 🗆 "                   | WIND SPEED (V-ult)                             | 117 mph  |
| 16D            | 3□ "                | 10              | 0.135            | 1 🗆 "                   | RISK CATEGORY                                  | II   |
| 16D SIN        | NKER 3"             | 9               | 0.148            | 1 □ "                   | EXPOSURE                                       | С  |
| COMM           | ION NAII            | _S              |                  |                         | INTERNAL PRESSURE CO<br>EXTERIOR CLADDING (0.6 |  |
| 6D             | 2"                  | 11 🗆            | 0.113            | 1 "                     |  |  |
| 8D             | 2 <del>1</del> □ "  | 10              | 0.131            | 1 □ "                   | 703. DESIGN LOADS CRAFTSMA                     | IN WTS USED FOR GRAVITY AND SEISMIC DESIGI                                     |

 $|4d \text{ casing } (1\frac{1}{2}\text{"x}0.080"); \text{ or } 4d \text{ finish } (1\frac{1}{2}\text{"x}0.072")$ 6d casing (2"x0.099"); or 6d finish (2"x.092") - (Panel supports at 24 inches)

7. DESIGN CRITERIA

VAULTED ROOF DL 21 psf | 1

ROOF w/ CEILING DL 27 psf | 1

20 psf I

**ROOF LL** 

PANEL SIDING TO FRAMING

INTERIOR PANELING

RESIDENTIAL CODE. 701. SEISMIC DESIGN CRITERIA: SOIL BEARING VALUE 1,500 psf SITE CLASS D (Default) SEISMIC DESIGN CATEGORY RISK CATEGORY SEISMIC IMPORTANCE FACTOR

700. BUILDING CODE: 2022 CALIFORNIA BUILDING CODE AND 2022 CALIFORNIA

PORCH LL 20 psf

TRELLIS DL 6 psf

TRELLIS LL 10 psf

OF THE BUILDING. PORCH DL 34 psf

A SOILS REPORT MAY BE REQUIRED BY THE BUILDING OFFICIAL. IN-LIEU OF THE SOILS REPORT A CONSERVATIVE VALUE FOR THE SOIL BEARING ALLOWABLE OF 1500 PSF HAS BEEN USED IN DESIGN

#### A FOUNDATION INSPECTION

- 3. WOOD FRAMING CONSTRUCTION 300. ROOFING MATERIALS SHALL BE PER ARCHITECTURAL DRAWINGS.
- 301. ROOF SHEATHING SHALL BE  $\frac{19}{32}$  " OR  $\frac{5}{8}$  " C-D GRADE, INTERIOR TYPE PLYWOOD WITH EXTERIOR GLUE, OR OSB PANELS. IDENTIFICATION INDEX (24/0) W/ 8D COMMON NAILS @ 6" O/C @ ALL PERIMETER EDGES AND ALL INTERIOR SUPPORTED EDGES AND @ 12" O/C @ ALL INTERMEDIATE SUPPORTS. SEE DETAILS FOR SHEAR AND DRAG NAILING.

2. CONCRETE FOUNDATION CONSTRUCTION

ON THE PLANS.

14'-0" O/C MAX.

EXTERIOR CORNER OF SLAB.

AMOUNT TO BE POURED

STHD10, STHD14, HTT5

LSTHD8, HTT4

LTT20B

LTT20B

LOCATION

ANY OTHER

CITY OF GONZALES OF ANY DISCREPANCY, TYPICAL.

MISPLACED HOLDOWN 5 ALL-THREAD. EMBED 9"

SLAB EDGE, 1.3/4" DIST. SHEARWALL

INTERIOR > 6," EDGE DIST. SHEARWALL OR

DOCUMENTATION IN WRITING FOR THE FOLLOWING:

**GONZALES APPROVAL** 

200. THE FIELD INSPECTOR SHALL VERIFY FOUNDATION REQUIREMENTS DURING FOUNDATION INSPECTION

201. CONCRETE STRENGTH SHALL BE NO LESS THAN 2,500 PSI @ 28 DAYS, OR HIGHER STRENGTH IF NOTED

203. REINFORCING BARS TO BE GRADE 40 FOR #3 BARS, GRADE 60 FOR #4 BARS & LARGER

204. PROVIDE WEAKENED PLANE JOINTS FOR CRACK CONTROL (SAWCUT OR TOOLED JOINT) AT

205. SILL ANCHORAGE AT ALL SHEARWALL LOCATIONS SHALL BE PER THE SHEARWALL SCHEDULE

WASHER MAY BE DIAGONALLY SLOTTED (WIDTH >= BOLT DIAMETER +  $\frac{3}{16}$ ", LENGTH<= $1\frac{3}{4}$ ")

PROVIDED THAT A STANDARD CUT WASHER IS USED ON TOP OF THE SQUARE WASHER.

206. EMBEDDED SILL ANCHOR BOLTS AT TYPICAL NON-SHEARWALL CONDITIONS SHALL BE

🖁 " DIA. MIN. ANCHOR BOLTS WITH A STANDARD CUT WASHER. SPACING SHALL NOT

LESS THAN 4" FROM ENDS AND SPLICES. EACH SILL SHALL HAVE (2) SILL BOLTS MIN

TWO-POUR SYSTEM, ANCHOR BOLTS TO BE EMBEDDED 5 INCHES MIN, INTO FIRST POUR.

EXCEED 48 INCHES O/C. LOCATE AN ANCHOR BOLT NOT MORE THAN 9 INCHES, OR

207. ANCHOR BOLTS SHALL BE EMBEDDED A MIN. OF 7 INCHES INTO CONCRETE. IN A

208. SEE WOOD FRAMING CONSTRUCTION NOTES FOR ALTERNATE SILL ANCHORAGE.

211. PROVIDE A UFER GROUND FOR ELECTRICAL SYSTEM PER ARTICLE 250.52 N.E.C.

RETROFIT BOLT

209. ALL HOLDOWNS SHALL BE PLACED A MINIMUM DIM AS SHOWN IN DETAIL 3&4/S4 FROM

210. VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS. SUBCONTRACTOR TO VERIFY

ALL DIMENSIONS PRIOR TO CONSTRUCTION. IMMEDIATELY NOTIFY HOMEOWNER AND

212. ALL SURROUNDING FLAT WORK SHALL BE VERIFIED WITH HOMEOWNER FOR LOCATION AND

213. RETROFIT MISPLACED HOLDOWNS AS NOTED BELOW. AT EPOXY ANCHORS USE SIMPSON

SET-XP EPOXY PER MANUFACTURERS INSTALLATION REQUIREMENTS AS FOLLOWS:

🖁 " ALL-THREAD, EMBED 9"

 $\frac{5}{8}$  " ALL-THREAD, EMBED 7'

ATTACH TO EXISTING A.B.

 $rac{7}{8}$  " ALL-THREAD, EMBED 15'

ANCHORS USE SIMPSON SET-XP EPOXY PER SIMPSON'S INSTALLATION REQUIREMENTS

 $|^{215.}$  WHEN REQUESTING A BUILDING DEPARTMENT FOUNDATION INSPECTION, HAVE CONTRACTOR

B) THE UTILITY TRENCHES HAVE BEEN PROPERLY BACKFILLED & COMPACTED.

CAPACITY COMPLIES WITH THE CITY OF GONZALES RECOMMENDATIONS

C) THE FOUNDATION EXCAVATIONS, EXPANSIVE CHARACTERISTICS AND BEARING

216. ALL HOLDOWN ANCHORS & HARDWARE MUST BE TIED IN PLACE PRIOR TO CALLING FOR

A) THE PAD WAS PREPARED IN ACCORDANCE WITH THE SITE REQUIREMENTS AND CITY OF

| 214. RETROFIT 🖫 🖁 EMBEDDED ANCHOR BOLTS AS NOTED BELOW. AT EPOXY

NON-SHEAR

**NON-SHEAR** 

REPLACEMENT HARDWARE

HTT4

HTT5

LTT20B

LTT20B

 $\frac{5}{8}$  " ALL-THREAD, EPOXY, EMBED 3"

0.145 DIA. SHOT PINS SPACED 4 INCHES

APART ON SILL. (2) FOR EACH MISSING

ANCHOR BOLT. MAX. OF (6) SHOT PINS

OR \( \frac{5}{8} \)" TITEN HD, EMBED 3" MIN.

" TITEN HD, EMBED 3" MIN.

HDU8

REPLACEMENT

EVERY 6 FT.

SHEARWALL ANCHORS SHALL BE PLACED A MIN. OF  $1\frac{3}{4}$ " FROM THE EDGE OF CONCRETE.

ALL SHEARWALL ANCHOR BOLTS SHALL RECEIVE A 3" SQUARE X 0.229" THICK WASHER. THE

202. SLAB REINFORCEMENT & FOOTINGS SHALL BE PER STRUCTURAL DETAILS ON SHEET S6, CENTERED IN SLAB.

- 302. TYPICAL WALL SHEATHING:
- INTERIOR SURFACES: WHERE DRYWALL IS SPECIFIED, PROVIDE MIN. TO GYPSUM WALLBOARD W/ 5D COOLER NAILS OR EQUAL @ 7" O/C TO ALL STUDS AND TO TOP & BOTTOM PLATES (UNBLOCKED) AT INTERIOR SIDE OF EXTERIOR WALLS AND AT BOTH SIDES OF ALL INTERIOR WALLS.

EXTERIOR SURFACES: SEE PLANS. WHERE "STUCCO" IS SPECIFIED PROVIDE  $\frac{7}{8}$ EXTERIOR CEMENT PLASTER OVER WIRE LATH OVER TYPE 15 BUILDING PAPER. LATH ATTACHED TO ALL STUDS AND TOP AND BOTTOM PLATES (OR BLOCKING AS OCCURS) W/ 16 GAGE X  $\frac{7}{16}$  " STAPLES @ 6" O/C OR NO. 11 GAGE X 1-1/2" FURRING NAILS WHERE INDICATED ON ELEVATIONS.

- 303. STRUCTURAL SHEATHING MAY BE EITHER OSB OR PLYWOOD. ANY NOTES REFERRING TO PLYWOOD ALSO APPLIES TO OSB.
- 304. TOP PLATES SHALL BE DOUBLE 2X W/ WIDTH EQUAL TO STUDS BELOW, W/ (21)16D NAILS MIN. @ MINIMUM 4'-0" LAP SPLICES. USE SIMPSON RPS OR CS16 STRAP EACH SIDE OR ONE SIDE AND TOP WHERE LAP SPLICE IS NOT POSSIBLE. SEE DETAILS FOR NOTCHES, CUT-OUTS AND COMPLETE PLATE BREAKS AT HEATING, VENTING, AND PLUMBING.

4-8d box, 3-8d Com, 3-10d box, 3-3"x.131 nails, 3-3" 14 gage staples 3-16d Com, 4-10d box, 4-3" x 0.131" nails, 4-3" 14 gage staples 3-16d Com, 4-10d box, 4-3" x 0.131" nails, 4-3" 14 gage staples 3-10d Com, 4-10d box, 4-3"x0.131" nails, 4-3" 14 gage staples 3-10d Com, 3-16d or 4-10d box, 4-3" x 0.131" nails, 4-3" 14 gage staples

4-8d Box, 3-8d Com, 3-10d box, 3-3" x 0.131" nails, 3-3" 14 gage staples

2-8d Com, 2-3" x 0.131" nails, 2-3" 14 gage staples

2-16d Com, 3-3" x 0.131" nails, 3-3" 14 gage staples

16d Com, 3"x.131" nails, 3"x14 gage staples @ 6" o.c

4-16d box, 3-10d Com, 3-16d or 4-10d box, 4-3" x 0.131" nails, 4-3" 14 gage staples 2-16d Com, 3-16d box, 3-10d box, 3-3" x 0.131" nails, 3-3" 14 gage staples 16d Com @ 24" o.c. FN OR 2-10d box, 3" x 0.131" nails, 3-3" 14 gage staples @ 16" o.c. FN 16d Com @ 16" o.c. FN OR 16d Box, 3" x 0.131" nails, 3-3" 14 gage staples @ 12" o.c. FN 16d Com @ 16" o.c OR 16d Box @ 12" o.c.

6. NAILING SCHEDULE, MINIMUMS (CBC CHAPTER 23, TABLE 2304.10.2)

BLKNG AT CEILING JOISTS, RAFTERS, OR TRUSSES TO TOP PLATE OR OTHER FRAMING, T.N.

CEILING JOISTS ATTACHED TO PARALLEL RAFTER (HEEL JOINT), F.N. PER 2308.7.3.1

TOP PLATE TO TOP PLATE, AT END JOINTS (EACH SIDE OF END JOINT), FACENAIL

FLAT BLKNG TO TRUSS AND WEB, F.N

CEILING JOISTS TO TOP PLATE, T.N.

RAFTER/TRUSS TO TOP PLATE, T.N. PER TABLE 2308.7.3.5

STUD TO STUD (NOT AT BRACED WALL PANELS)

BOTTOM PLATE TO JOIST, RIM, OR BLKG, FACENAIL

UNBRACED WALL: 16" o.c. FN

BRACED WALL: 16"o.c. FN

1" BRACE TO EACH STUD AND PLATE, F.N.

JOIST TO SILL, TOP PLATE, OR GIRDER, T.N.

24" o.c. FN Top & BTTM

ENDS & SPLICES, FN

LEDGER SUPPORTING JOISTS/RAFTERS

JOIST TO BAND OR RIM JOIST. END NAIL

PARTICI FBOARD WALL SHEATHING TO FRAMING

 $2\frac{3}{8}$ " x.113"x.266" head nail (roof)

 $1\frac{3}{4}$ " 16 Ga Staple,  $\frac{7}{16}$ " crown (roof)

OTHER EXTERIOR WALL SHEATHING (FIBERBOARD)

8d Com or deformed (subfloor and wall)

 $\frac{19}{32}$ "  $\frac{3}{4}$ " 8d Com or deformed (roof) or  $2\frac{3}{8}$ " x.113" nail (roof)

FULL REPORTS FOUND AT:

HTTP://WWW.ICC-ES.ORG

1"x6" SUBFLOOR OR LESS TO EACH JOIST, F.N.

2" SUBFLOOR TO JOIST OR GIRDER, F.N. or BLIND

BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS

1"x6" SHEATHING TO EACH BEARING, F.N

UNBRACED WALL: 12" o.c. FN

TOP PLATES, LAPS AT CORNERS AND INTERSECTION, F.N.

RIM JOIST, BAND JOIST, OR BLOCKING TO TOP PLATE, SILL OR OTHER

2" PLANKS (PLANK & BEAM - FLOOR & ROOF), FACENAIL & EACH BEARING

32" o.c. FN Top & BTTM STAGGERED ON OPPOSITE SIDES

BRIDGING OR BLOCKING TO JOIST, RAFTER OR TRUSS EACH END, T.N.

8d Com or deformed (roof) or  $2\frac{3}{8}$ " x.113" nail (roof)

 $1\frac{3}{4}$ " 16 Ga Staple,  $\frac{7}{16}$ " crown (subfloor and wall)

16d Com or deformed; or  $2\frac{3}{8}$ "x.113" nail (subfloor and wall)

 $2\frac{3}{8}$ " x.113"x.266" head nail, 2"16 Gage staple,  $\frac{7}{16}$ " crown

 $1\frac{1}{2}$ " x0.120", galvanized roofing nail ( $\frac{7}{16}$ " head dia) or  $1\frac{1}{4}$ " 16 Ga Staple w/ $\frac{7}{16}$ " or 1" crown

 $1\frac{7}{4}$ " x0.120", galvanized roofing nail ( $\frac{7}{16}$ " head dia) or  $1\frac{1}{2}$ " 16 Ga Staple w/ $\frac{7}{16}$ " or 1" crown

WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING

 $\frac{3}{4}$ " & LESS |8d COMMON (2  $\frac{1}{2}$ "x0.131"); or deformed (2"x0.113"); or deformed (2"x0.120")

 $\frac{7}{8}$ "-1" | 8d COMMON (2  $\frac{1}{2}$ "x0.131"); or deformed (2"x0.113"); or deformed (2"x0.120")

 $\frac{1}{2}$ " & LESS | 6d corrosion-resistant siding ( $1\frac{7}{8}$ "x.106"); or 6d corrosion-resistant (2"x.099")

10d COMMON (3"x0.148"); or deformed ( $2\frac{1}{2}$ "x0.131"); or deformed ( $2\frac{1}{2}$ "x0.120")

8d corrosion-resistant siding  $(2\frac{3}{8}$ "x0.128"); or 8d corrosion-resistant casing  $(2\frac{1}{2}$ "x0.113")

 $\frac{7}{8}$ " -1 $\frac{1}{4}$ " | 10d Com or (3"x0.148"); or deformed (2 $\frac{1}{2}$  x.131"x.281 head)

WOOD STRUCT, PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHTNG TO FRMG AND

1"x8" SHEATHING AND WIDER TO EACH BEARING, F.N.

BUILT-UP HEADER (2" TO 2"), FN EA. EDGE

RAFTERS TO RIDGE VALLEY OR HIP; OR FATER TO 2" RIDGE BEAM

STUD TO STUD AT INTERSECTING WALL CORNERS (BRACED WALL)

COLLAR TIE TO RAFTER, F.N.

**ENDNAIL** 

CONT. HEADER TO STUD, T.N.

TOP PLATE TO TOP PLATE

24" MIN LAP SPLICE EA. SIDE

STUD TO TOP OR BOTTOM PLATE

**TOENAIL** 

ENDNAIL

BLKNG AT CEILING RAFTERS OR TRUSSES NOT AT WALL TOP PLATE TO RAFTER OR TRUSS, T.N.

BLKNG AT CEILING RAFTERS OR TRUSSES NOT AT WALL TOP PLATE TO RAFTER OR TRUSS, E.N.

CEILING JOISTS NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS, F.N. PER 2308,7.3.1

4-8d Com, 4-10d Box, 5-8d box 6d Com @ 16" o.c. FN OR 10d Box, 3" x 0.131" nails, 3" 14 gage staples @ 12 o.c. FN

8-16d Com, 12-16d Box, 12-10d Box, 12-3" x 0.131" nails, 12-3" 14 gage staples

16d Box, 3" x 0.131" nails, 3" 14 gage staples 2-16d Com, 3-16d Box,4-3"x.131" nails,4-3" 14 gage staples

4-8d Box, 4x10d Box, 4-8d Com, 3-16d Box, 4-3"x0.131" nails, 4-3" 14 gage staples 3-16d Box, 2-16d Com, 3-10d Box, 3-3"x0.131" nails, 3-3" 14 gage staples 2-16d Com, 3-10d box, 3-3" x 0.131" nails, 3-3" 14 gage staples 3-8d Box, 2-8d Com, 2-10d Box, 2-3" x 0.131" nails, 2-3" 14 gage staples 3-8d Box, 2-1.75" 16 Gage staples, 2-8d Com, 2-10d Box

4-8d box, 3-8d Com, 3-10d Box, 3-3" x 0.131" nails, 3-3" 14 gage staples 8d Box @ 4" o.c. TN OR 8d Com, 10d Box, 3" x 0.131" nails, 3" 14 gage staples @ 6" o.c. TN

3-16d Box, 2-16d Com 3-16d Box, 2-16d Com

10d Box, 3"x0.131" nails, 3" 14 gage staples 2-20d Com, 3-10d Box, 3-3"x0.131" nails, 3-3" 14 gage staples 4-16d Box, 3-16d Com, 4-10d Box, 4-3"X0.131, 4-3" 14ga. STAPLES

3-16d Com, 4-10d Box, 4-3"X0.131, 4-3" 14ga. STAPLES

2-8d Com, 2-10d box, 2-3" x 0.131" nails, 2-3" 14 gage staples EDGES INTERMEDIATE (IN) SUPPORTS (IN)

FOOTNOTES:

a. Nails spaced at 6 inches at intermediate supports where spans are 48 inches or more. For nailing of wood structural panel and for wall sheathing are permitted to be common, box or casing. b. Spacing shall be 6 inches on center on the edges and 12 inches on center at intermediate supports for nonstructural applications. Panel

supports at 16 inches (20 inches if strength axis in the long direction of the panel, unless otherwise marked). c. Where a rafter is fastened to an adjacent parallel ceiling joist in accordance with this schedule and the ceiling joist is fastened to the top plate in accordance with this schedule, the number of toenails in the rafter shall be permitted to be reduced by one nail. d. RSRS-01 is a Roof Sheathing Ring Shank nail meeting the

specifications in ASTM F1667. e. Tabulated fastener requirements apply where the ultimate design wind speed is less than 140 mph. For wood structural panel roof sheathing attached to gable-end roof framing and to intermediate supports within 48 inches of roof edges and ridges, nails shall be spaced at 4 inches on center where the ultimate design wind speed is greater than 130 mph in Exposure B or greater than 110 mph in Exposure C. Spacing exceeding 6 inches on center at intermediate

supports shall be permitted where the fastening is designed per the AWC NDS e. Fastening is only permitted where the ultimate design wind speed is less than or equal to 110 mph g. Nails and staples are carbon steel meeting the specifications of

ASTM F1667. Connections using nails and staples of other materials, such as stainless steel, shall be designed by acceptable engineering practice or approved under Section 104.11.

12

8. STATEMENT OF SPECIAL INSPECTIONS

800. RETROFIT ANCHOR BOLTS FOR MISPLACED HOLDOWNS WITH ALL-THREAD ROD AND SIMPSON SET-XP EPOXY REQUIRE SPECIAL INSPECTION. (NO SPECIAL INSPECTION IS REQUIRED FOR RETROFIT ANCHOR BOLTS OR TITEN HD's WITHOUT A **HOLDOWN ATTACHED.)** 

12

12

801. PER CBC 1705.3 SPECIAL INSPECTION IS NOT REQUIRED FOR NON-STRUCTURAL SLABS ON GRADE NOR FOR CONCRETE FOOTINGS THAT SUPPORT 3 STORIES ABOVE GRADE OR LESS.

802. PER CBC 1705.11 SPECIAL INSPECTION IS NOT REQUIRED FOR SEISMIC COMPONENTS FOR DETTACHED ONE- AND TWO-FAMILY DWELLINGS NOT EXCEEDING 2 STORIES ABOVE

GRADE.

9. SOILS REPORT

LEGEND

PER SCHEDULE

**BOLT TYPE HOLDOWN** 

BEARING OR EXTENT

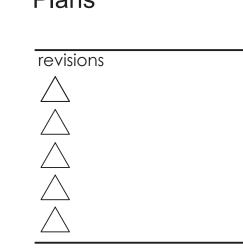
OF RAFTERS

=── - HANGER TO BEAM/LEDGER

BEARING OR EXTENT

\* PLEASE REFER TO NOTES 311 & 401 FOR LUMBER GRADE SPECIFICATIONS.

SHEARWALL & A.B. SPACING



description

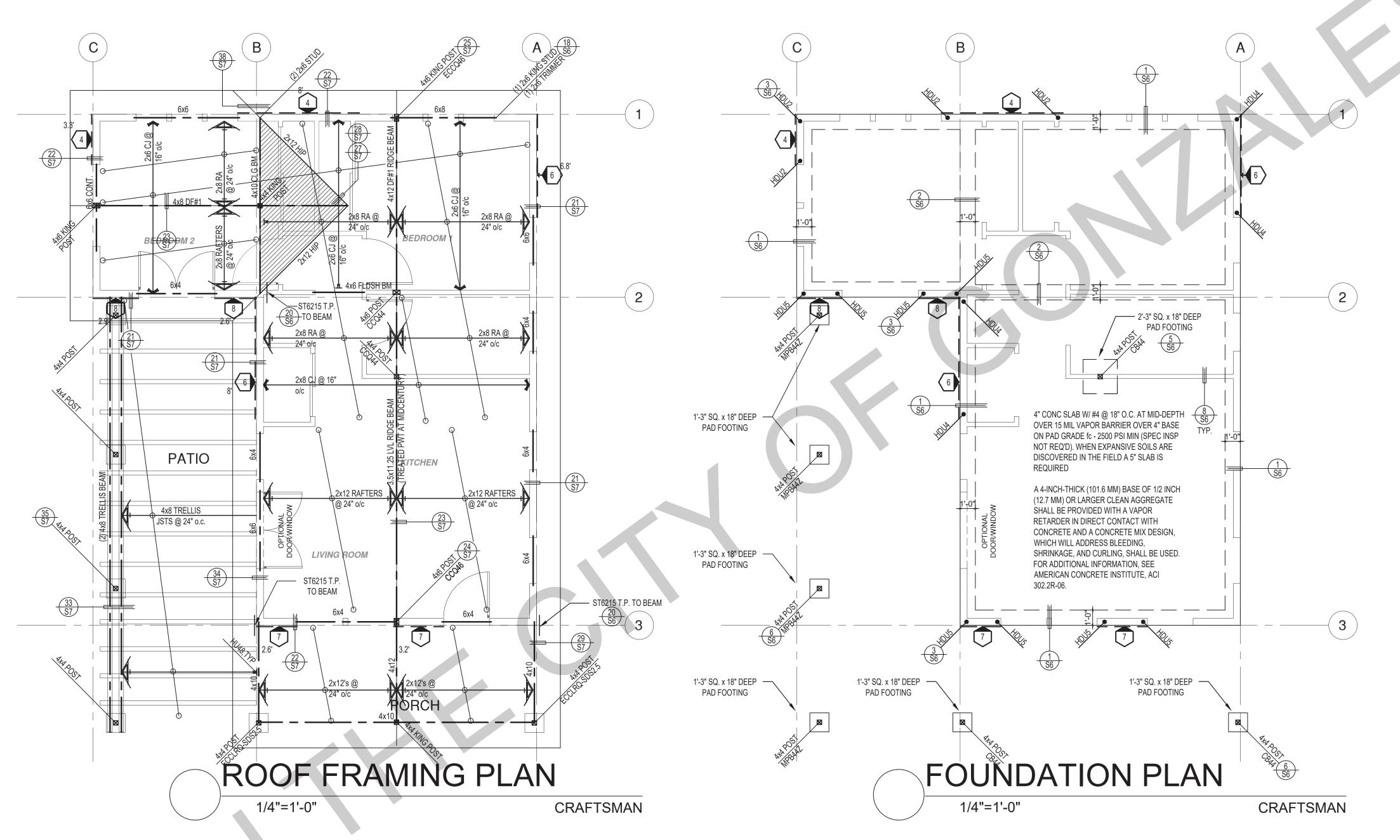
Foundation & Framing Craftsman

date September 2023

project no.

drawn by design path studio

eet no. S2



## SHEAR WALL SCHEDULE (ASD VALUES)

#### FOUNDATION NOTES

- 1. ALL ANCHOR BOLTS, HOLDOWN ANCHORS, & REINF. MUST BE SECURELY TIED IN PLACE PRIOR TO FDTN. INSP.
- 2. ALL EXTERIOR STUDS TO BE 2x6 @ 16" O.C.
- 3. THE MINIMUM NOMINAL ANCHORBOLT DIAMETER SHALL BE 1/2 INCH NOTE: THIS WILL REQUIRE A MINIMUM DISTANCE FROM THE ENDS OF SILL PLATES TO BE 4" (AND A MAXIMUM OF 12")
- 4. PLATE WASHERS (MINIMUM SIZE OF 3" x 3" x 1/4") SHALL BE USED ON EACH ANCHOR BOLT.
- 5. PROVIDE CONC SLAB JOINTS AT NO MORE THAN 15 FT EA. WAY
- 6. SEE SHT S6 FOR TYP. CONCRETE & SLAB DETAILS 1-8
- 7. POSTS W/O SPECIFIED BASE SHALL BE NAILED TO BOLTED SILL PLATES W/ (2)
- 8. FOOTINGS ADJACENT TO SLOPES GREATER THAN OR EQUAL TO 33.3% SHALL COMPLY WITH SETBACK REQUIREMENTS DEFINED IN CBC 1808.7.

|   | 4   | 5   | 6  | 7   | 8  | 9   |
|---|---|---|--|---|--|---|
| SHEARWALL DESCRIPTION (See footnotes 1& 4)  | 3" ply. C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnote 3) | 3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 4" o/c edge, 12" o/c field, blocked (See footnote 3) | 3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4) | 3/8" rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4) | 15/32" rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5) | 15/ <sub>32</sub> " rated STRUCT 1 panel, (1) side w/ 10d @ 2" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5) |
| SHEAR VALUE<br>(PLF)                        | 260*  | 380*  | 490*   | 550*  | 665*   | 870*  |
| ANCHOR BOLT SPACING                         | 5%" @ 48"<br>or<br>½" @ 32"   | 5⁄8" @ 32"<br>or<br>1∕2" @ 24"  | ½" @ 24"<br>or<br>½" @ 16"   | ½" @ 24"<br>or<br>½" @ 16"  | ½" @ 16"<br>or<br>½" @ 24"   | ½" @ 12"<br>or<br>½" @ 8"   |
| 16d (0.148") SILL NAILING                   | 6"  | 4"  | 3½"  | 3"  | ½"x4½"<br>SDS screws @ 8"  | 1/4"x41/2"<br>SDS screws @ 8"   |
| SPACING OF A35/LTP4<br>FRAMING TO TOP PLATE | 32" O.C.  | 18" O.C.  | 12" O.C.   | 12" O.C.  | 8" O.C.  | 8" O.C.   |

- (1) AT PLYWOOD OR OSB PS-1 OR PS-2 RATED PANELS USE COMMON NAILS OR GALVANIZED BOX NAILS (2) LAYERS OF PAPER EXTERIOR PLYWOOD REQUIRED. SHEARSHALL BE APPLIED OVER STUDS @ 16" O/C. GALVANIZED NAILS SHALL NOT BE HOT-DIPPED OR TUMBLED.
- (2) SILL PLATES & WASHERS SHALL COMPLY WITH THE CONCRETE FOUNDATION CONSTRUCTION AND WOOD FRAMING CONSTRUCTION NOTES. (SEE NOTES #206, 208, 209. 307, 308, 309, ETC.)
- (3) IN PLYWOOD SHEARWALLS, THE EDGE OF THE 3" SQUARE WASHERS (SEE NOTE #206) SHALL BE ½" OR LESS FROM THE EDGE OF THE SILL PLATE ON THE SIDE OF THE SHEATHING. ALL NAILING SHALL BE ¾" MIN. FROM THE EDGE OF SHEATHING.
- (4) WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF (SHEARWALL TYPES 6, 7, 8, & 9) ALL FRAMING RECEIVING NAILING FROM ABUTTING PANEL EDGES SHALL NOT BE LESS THAN A SINGLE 3" NOMINAL MEMBER OR (2) 2X MEMBERS NAILED WITH 10D, SPACING EQUAL TO THE E.N. SPACING. PLYWOOD JOINT AND SILL NAILING SHALL BE STAGGERED.
- (5) IN SHEARWALL TYPES 8 & 9, SILL PLATE NAILING SHALL BE STAGGERED. AT SECOND FLOOR CONDITIONS, PROVIDE ADEQUATE RIM OR BLOCKING TO PREVENT SPLITTING.
- (\*) ALLOWABLE SHEAR VALUES FOR PLYWOOD SHEARWALLS MAY BE INCREASED BY 40% UNDER WIND LOADING.

project

LEGEND

PER SCHEDULE

**BOLT TYPE HOLDOWN** 

BEARING OR EXTENT

OF RAFTERS

=── - HANGER TO BEAM/LEDGER

BEARING OR EXTENT

\* PLEASE REFER TO NOTES 311 & 401 FOR LUMBER GRADE SPECIFICATIONS.

SHEARWALL & A.B. SPACING

City of Gonzales Pre-Approved ADU **Plans** 

revisions

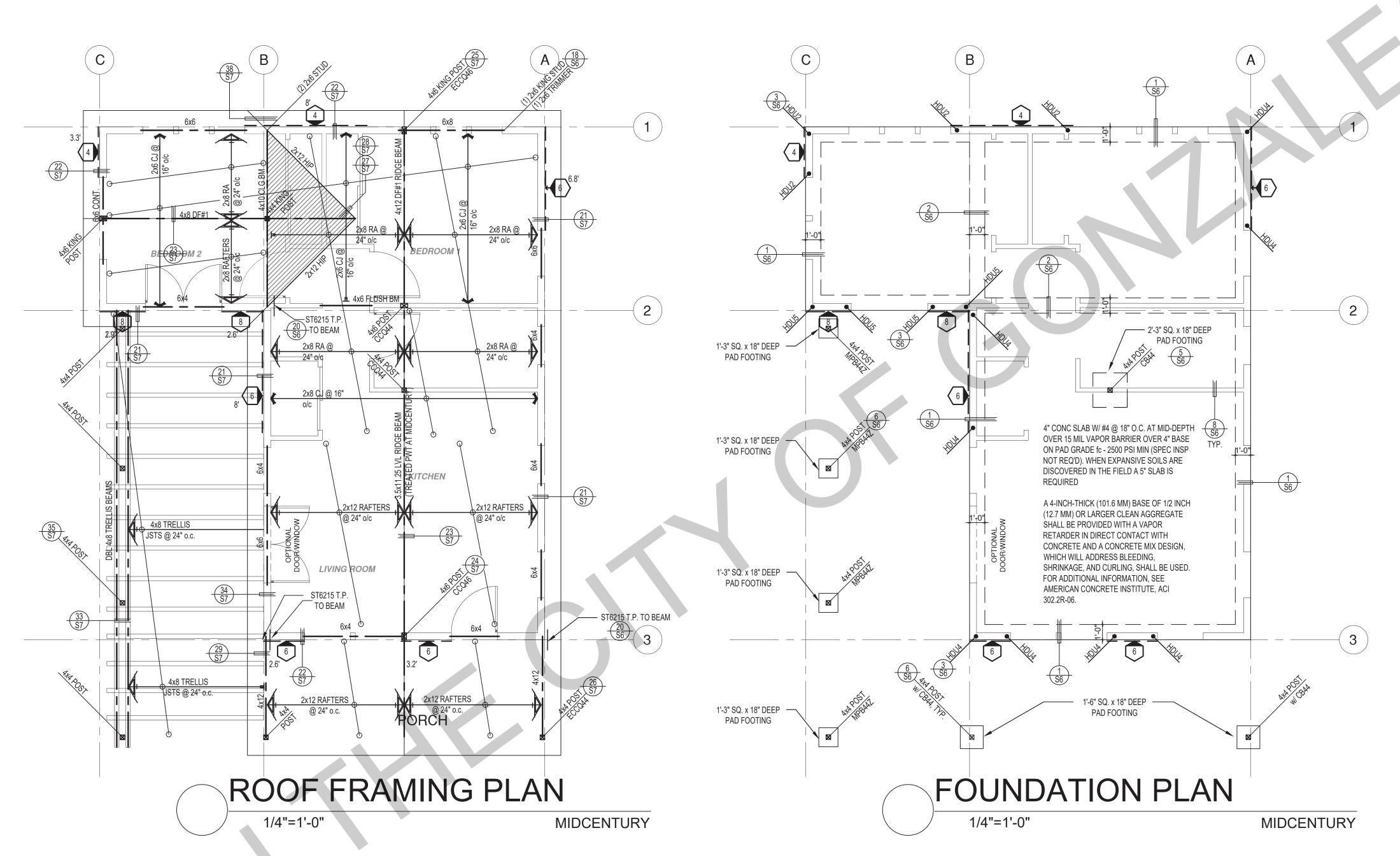
description

Foundation & Framing Midcentury

September 2023

project no.

drawn by design path studio



## SHEAR WALL SCHEDULE (ASD VALUES)

#### FOUNDATION NOTES

- ALL ANCHOR BOLTS, HOLDOWN ANCHORS, & REINF. MUST BE SECURELY TIED IN PLACE PRIOR TO FDTN. INSP.
- ALL EXTERIOR STUDS TO BE 2x6 @ 16" O.C.
- THE MINIMUM NOMINAL ANCHORBOLT DIAMETER SHALL BE 1/2 INCH NOTE: THIS WILL REQUIRE A MINIMUM DISTANCE FROM THE ENDS OF SILL PLATES TO BE 4" (AND A MAXIMUM OF 12")
- 4. PLATE WASHERS (MINIMUM SIZE OF 3" x 3" x 1/4") SHALL BE USED ON EACH
- 5. PROVIDE CONC SLAB JOINTS AT NO MORE THAN 15 FT EA. WAY
- 6. SEE SHT S6 FOR TYP. CONCRETE & SLAB DETAILS 1-8
- . POSTS W/O SPECIFIED BASE SHALL BE NAILED TO BOLTED SILL PLATES W/ (2)
- 3. FOOTINGS ADJACENT TO SLOPES GREATER THAN OR EQUAL TO 33.3% SHALL COMPLY WITH SETBACK REQUIREMENTS DEFINED IN CBC 1808.7.

|   |   |   |  |   |  | ,   |
|---|---|---|--|---|--|---|
|   | 4   | 5   | 6  | 7   | 8  | 9   |
| SHEARWALL DESCRIPTION (See footnotes 1& 4)  | 3" ply. C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnote 3) | 3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 4" o/c edge, 12" o/c field, blocked (See footnote 3) | 3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4) | 3/8" rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4) | 15/32" rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5) | 15/ <sub>32</sub> " rated STRUCT 1 panel, (1) side w/ 10d @ 2" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5) |
| SHEAR VALUE<br>(PLF)                        | 260*  | 380*  | 490*   | 550*  | 665*   | 870*  |
| ANCHOR BOLT SPACING                         | ½" @ 48"<br>or<br>½" @ 32"  | 5%" @ 32"<br>or<br>½" @ 24"   | ½" @ 24"<br>or<br>½" @ 16"   | ½" @ 24"<br>or<br>½" @ 16"  | ½" @ 16"<br>or<br>½" @ 24"   | ½" @ 12"<br>or<br>½" @ 8"   |
| 16d (0.148") SILL NAILING                   | 6"  | 4"  | 3½"  | 3"  | ½"x4½"<br>SDS screws @ 8"  | 1/4"x41/2"<br>SDS screws @ 8"   |
| SPACING OF A35/LTP4<br>FRAMING TO TOP PLATE | 32" O.C.  | 18" O.C.  | 12" O.C.   | 12" O.C.  | 8" O.C.  | 8" O.C.   |

- (2) SILL PLATES & WASHERS SHALL COMPLY WITH THE CONCRETE FOUNDATION CONSTRUCTION AND WOOD FRAMING CONSTRUCTION NOTES. (SEE NOTES #206, 208, 209. 307, 308, 309, ETC.)
- (3) IN PLYWOOD SHEARWALLS, THE EDGE OF THE 3" SQUARE WASHERS (SEE NOTE #206) SHALL BE ½" OR LESS FROM THE EDGE OF THE SILL PLATE ON THE SIDE OF THE SHEATHING. ALL NAILING SHALL BE ¾" MIN. FROM THE EDGE OF SHEATHING.
- (4) WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF (SHEARWALL TYPES 6, 7, 8, & 9) ALL FRAMING RECEIVING NAILING FROM ABUTTING PANEL EDGES SHALL NOT BE LESS THAN A SINGLE 3" NOMINAL MEMBER OR (2) 2X MEMBERS NAILED WITH 10D, SPACING EQUAL TO THE E.N. SPACING. PLYWOOD JOINT AND SILL NAILING SHALL BE STAGGERED.
- (5) IN SHEARWALL TYPES 8 & 9, SILL PLATE NAILING SHALL BE STAGGERED. AT SECOND FLOOR CONDITIONS, PROVIDE ADEQUATE RIM OR BLOCKING TO PREVENT SPLITTING.
- (\*) ALLOWABLE SHEAR VALUES FOR PLYWOOD SHEARWALLS MAY BE INCREASED BY 40% UNDER WIND LOADING.

LEGEND

PER SCHEDULE

**BOLT TYPE HOLDOWN** 

BEARING OR EXTENT

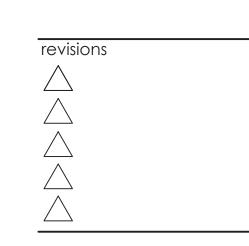
OF RAFTERS

=── - HANGER TO BEAM/LEDGER

BEARING OR EXTENT

\* PLEASE REFER TO NOTES 311 & 401 FOR LUMBER GRADE SPECIFICATIONS.

SHEARWALL & A.B. SPACING



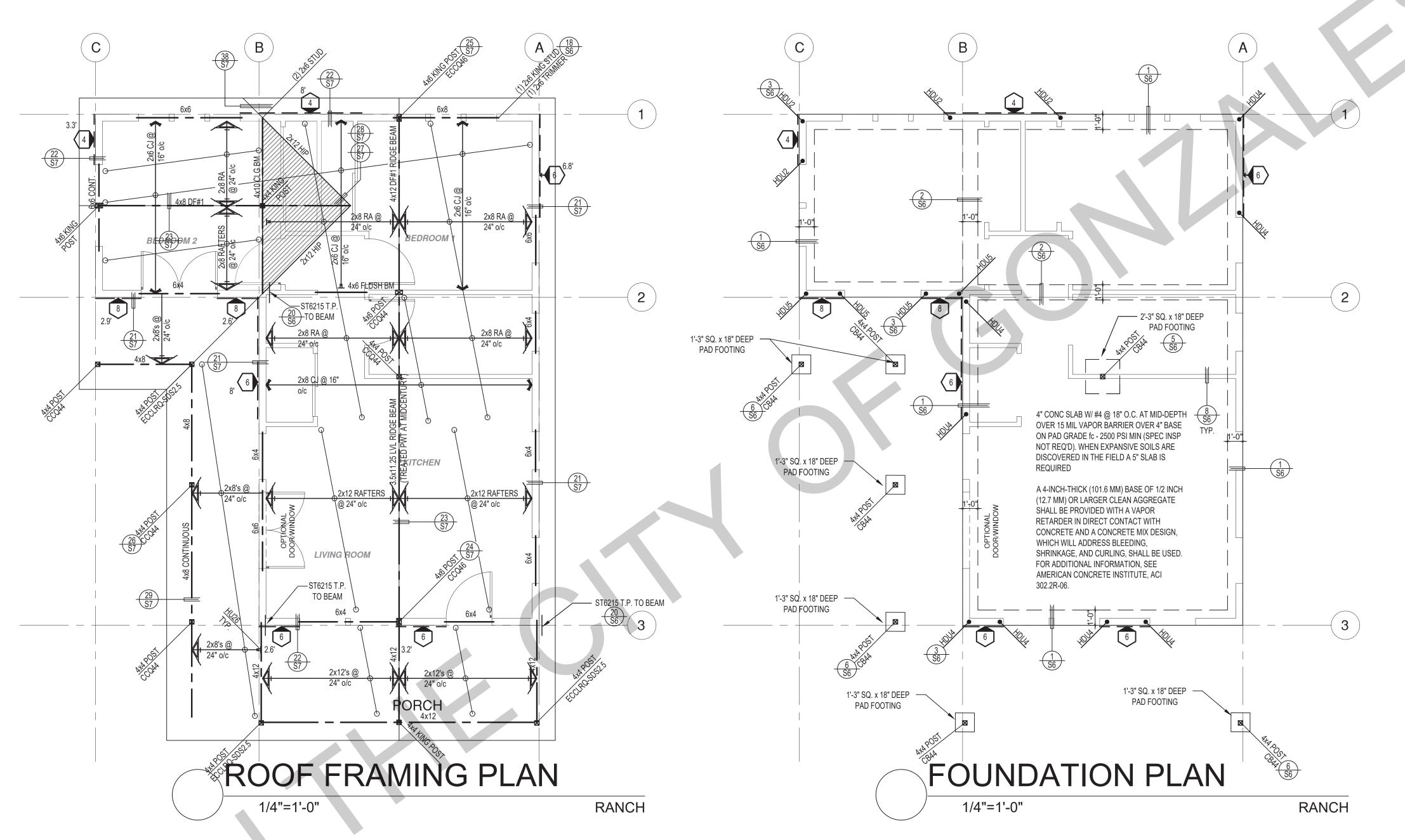
description

## Foundation & Framing Ranch

September 2023

project no.

drawn by design path studio



## SHEAR WALL SCHEDULE (ASD VALUES)

#### FOUNDATION NOTES

- ALL ANCHOR BOLTS, HOLDOWN ANCHORS, & REINF. MUST BE SECURELY TIED IN PLACE PRIOR TO FDTN. INSP.
- ALL EXTERIOR STUDS TO BE 2x6 @ 16" O.C.
- THE MINIMUM NOMINAL ANCHORBOLT DIAMETER SHALL BE 1/2 INCH NOTE: THIS WILL REQUIRE A MINIMUM DISTANCE FROM THE ENDS OF SILL PLATES TO BE 4" (AND A MAXIMUM OF 12")
- 4. PLATE WASHERS (MINIMUM SIZE OF 3" x 3" x 1/4") SHALL BE USED ON EACH
- 5. PROVIDE CONC SLAB JOINTS AT NO MORE THAN 15 FT EA. WAY
- 6. SEE SHT S6 FOR TYP. CONCRETE & SLAB DETAILS 1-8
- . POSTS W/O SPECIFIED BASE SHALL BE NAILED TO BOLTED SILL PLATES W/ (2)
- 3. FOOTINGS ADJACENT TO SLOPES GREATER THAN OR EQUAL TO 33.3% SHALL COMPLY WITH SETBACK REQUIREMENTS DEFINED IN CBC 1808.7.

|   | 4   | 5   | 6  | 7   | 8  | 9   |
|---|---|---|--|---|--|---|
| SHEARWALL DESCRIPTION (See footnotes 1& 4)  | 3" ply. C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnote 3) | 3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 4" o/c edge, 12" o/c field, blocked (See footnote 3) | 3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4) | 3/8" rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4) | 15/32" rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5) | 15/ <sub>32</sub> " rated STRUCT 1 panel, (1) side w/ 10d @ 2" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5) |
| SHEAR VALUE<br>(PLF)                        | 260*  | 380*  | 490*   | 550*  | 665*   | 870*  |
| ANCHOR BOLT SPACING                         | ½" @ 48"<br>or<br>½" @ 32"  | 5⁄8" @ 32"<br>or<br>1∕2" @ 24"  | ½" @ 24"<br>or<br>½" @ 16"   | ½" @ 24"<br>or<br>½" @ 16"  | ½" @ 16"<br>or<br>½" @ 24"   | ½" @ 12"<br>or<br>½" @ 8"   |
| 16d (0.148") SILL NAILING                   | 6"  | 4"  | 3½"  | 3"  | ½"x4½"<br>SDS screws @ 8"  | 1/4"x41/2"<br>SDS screws @ 8"   |
| SPACING OF A35/LTP4<br>FRAMING TO TOP PLATE | 32" O.C.  | 18" O.C.  | 12" O.C.   | 12" O.C.  | 8" O.C.  | 8" O.C.   |

- (1) AT PLYWOOD OR OSB PS-1 OR PS-2 RATED PANELS USE COMMON NAILS OR GALVANIZED BOX NAILS (2) LAYERS OF PAPER EXTERIOR PLYWOOD REQUIRED. SHEARSHALL BE APPLIED OVER STUDS @ 16" O/C. GALVANIZED NAILS SHALL NOT BE HOT-DIPPED OR TUMBLED.
- (2) SILL PLATES & WASHERS SHALL COMPLY WITH THE CONCRETE FOUNDATION CONSTRUCTION AND WOOD FRAMING CONSTRUCTION NOTES. (SEE NOTES #206, 208, 209. 307, 308, 309, ETC.)
- (3) IN PLYWOOD SHEARWALLS, THE EDGE OF THE 3" SQUARE WASHERS (SEE NOTE #206) SHALL BE ½" OR LESS FROM THE EDGE OF THE SILL PLATE ON THE SIDE OF THE SHEATHING. ALL NAILING SHALL BE ¾" MIN. FROM THE EDGE OF SHEATHING.
- (4) WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF (SHEARWALL TYPES 6, 7, 8, & 9) ALL FRAMING RECEIVING NAILING FROM ABUTTING PANEL EDGES SHALL NOT BE LESS THAN A SINGLE 3" NOMINAL MEMBER OR (2) 2X MEMBERS NAILED WITH 10D, SPACING EQUAL TO THE E.N. SPACING. PLYWOOD JOINT AND SILL NAILING SHALL BE STAGGERED.
- (5) IN SHEARWALL TYPES 8 & 9, SILL PLATE NAILING SHALL BE STAGGERED. AT SECOND FLOOR CONDITIONS, PROVIDE ADEQUATE RIM OR BLOCKING TO PREVENT SPLITTING.
- (\*) ALLOWABLE SHEAR VALUES FOR PLYWOOD SHEARWALLS MAY BE INCREASED BY 40% UNDER WIND LOADING.

LEGEND

PER SCHEDULE

**BOLT TYPE HOLDOWN** 

BEARING OR EXTENT

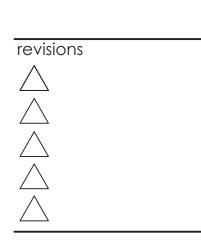
OF RAFTERS

=── - HANGER TO BEAM/LEDGER

BEARING OR EXTENT

\* PLEASE REFER TO NOTES 311 & 401 FOR LUMBER GRADE SPECIFICATIONS.

SHEARWALL & A.B. SPACING



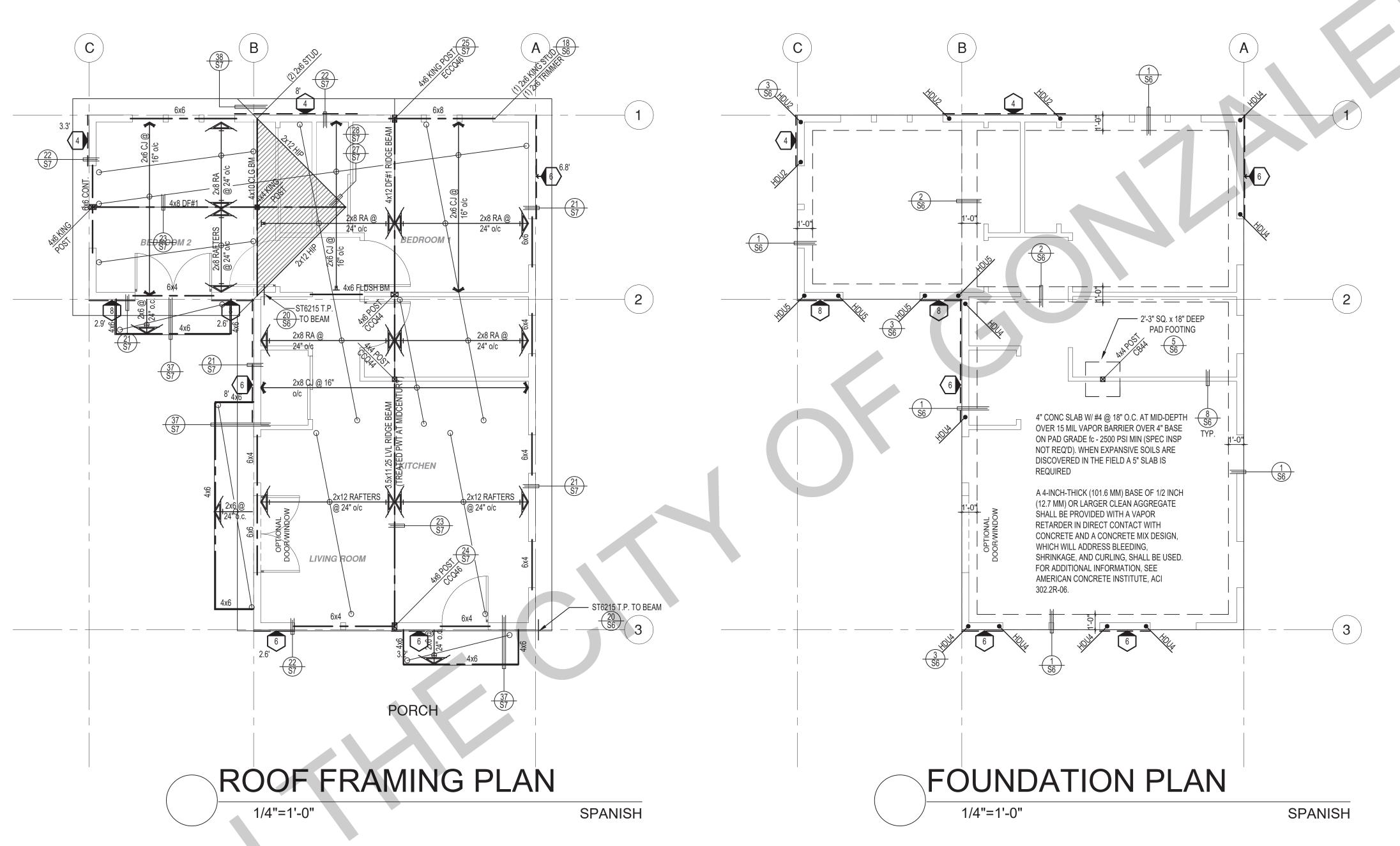
description

Foundation & Framing Spanish

September 2023

project no.

drawn by design path studio



## SHEAR WALL SCHEDULE (ASD VALUES)

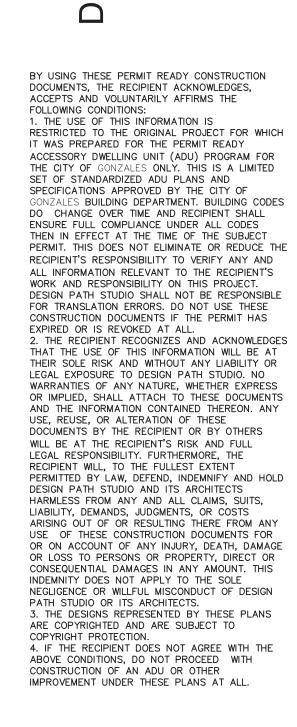
#### FOUNDATION NOTES

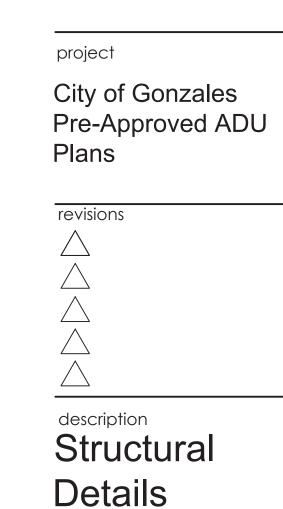
- ALL ANCHOR BOLTS, HOLDOWN ANCHORS, & REINF. MUST BE SECURELY TIED IN PLACE PRIOR TO FDTN. INSP.
- ALL EXTERIOR STUDS TO BE 2x6 @ 16" O.C.
- THE MINIMUM NOMINAL ANCHORBOLT DIAMETER SHALL BE 1/2 INCH NOTE: THIS WILL REQUIRE A MINIMUM DISTANCE FROM THE ENDS OF SILL PLATES TO BE 4" (AND A MAXIMUM OF 12")
- FLATE WASHERS (MINIMUM SIZE OF 3" x 3" x 1/4") SHALL BE USED ON EACH
- 5. PROVIDE CONC SLAB JOINTS AT NO MORE THAN 15 FT EA. WAY
- 6. SEE SHT S6 FOR TYP. CONCRETE & SLAB DETAILS 1-8
- . POSTS W/O SPECIFIED BASE SHALL BE NAILED TO BOLTED SILL PLATES W/ (2) 16d T.N. EA SIDE, TYP.
- 8. FOOTINGS ADJACENT TO SLOPES GREATER THAN OR EQUAL TO 33.3% SHALL COMPLY WITH SETBACK REQUIREMENTS DEFINED IN CBC 1808.7.

|   | 4   | 5   | 6  | 7   | 8  | 9   |
|---|---|---|--|---|--|---|
| SHEARWALL DESCRIPTION (See footnotes 1& 4)  | 3" ply. C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnote 3) | 3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 4" o/c edge, 12" o/c field, blocked (See footnote 3) | 3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4) | 3/8" rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4) | 15/32" rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5) | 15/ <sub>32</sub> " rated STRUCT 1 panel, (1) side w/ 10d @ 2" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5) |
| SHEAR VALUE<br>(PLF)                        | 260*  | 380*  | 490*   | 550*  | 665*   | 870*  |
| ANCHOR BOLT SPACING                         | ½" @ 48"<br>or<br>½" @ 32"  | 5%" @ 32"<br>or<br>½" @ 24"   | ½" @ 24"<br>or<br>½" @ 16"   | ½" @ 24"<br>or<br>½" @ 16"  | ½" @ 16"<br>or<br>½" @ 24"   | ½" @ 12"<br>or<br>½" @ 8"   |
| 16d (0.148") SILL NAILING                   | 6"  | 4"  | 3½"  | 3"  | ½"x4½"<br>SDS screws @ 8"  | 1/4"x41/2"<br>SDS screws @ 8"   |
| SPACING OF A35/LTP4<br>FRAMING TO TOP PLATE | 32" O.C.  | 18" O.C.  | 12" O.C.   | 12" O.C.  | 8" O.C.  | 8" O.C.   |

- (1) AT PLYWOOD OR OSB PS-1 OR PS-2 RATED PANELS USE COMMON NAILS OR GALVANIZED BOX NAILS (2) LAYERS OF PAPER EXTERIOR PLYWOOD REQUIRED. SHEARSHALL BE APPLIED OVER STUDS @ 16" O/C. GALVANIZED NAILS SHALL NOT BE HOT-DIPPED OR TUMBLED.
- (2) SILL PLATES & WASHERS SHALL COMPLY WITH THE CONCRETE FOUNDATION CONSTRUCTION AND WOOD FRAMING CONSTRUCTION NOTES. (SEE NOTES #206, 208, 209. 307, 308, 309, ETC.)
- (3) IN PLYWOOD SHEARWALLS, THE EDGE OF THE 3" SQUARE WASHERS (SEE NOTE #206) SHALL BE ½" OR LESS FROM THE EDGE OF THE SILL PLATE ON THE SIDE OF THE SHEATHING. ALL NAILING SHALL BE ¾" MIN. FROM THE EDGE OF SHEATHING.
- (4) WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF (SHEARWALL TYPES 6, 7, 8, & 9) ALL FRAMING RECEIVING NAILING FROM ABUTTING PANEL EDGES SHALL NOT BE LESS THAN A SINGLE 3" NOMINAL MEMBER OR (2) 2X MEMBERS NAILED WITH 10D, SPACING EQUAL TO THE E.N. SPACING. PLYWOOD JOINT AND SILL NAILING SHALL BE STAGGERED.
- (5) IN SHEARWALL TYPES 8 & 9, SILL PLATE NAILING SHALL BE STAGGERED. AT SECOND FLOOR CONDITIONS, PROVIDE ADEQUATE RIM OR BLOCKING TO PREVENT SPLITTING.
- (\*) ALLOWABLE SHEAR VALUES FOR PLYWOOD SHEARWALLS MAY BE INCREASED BY 40% UNDER WIND LOADING.





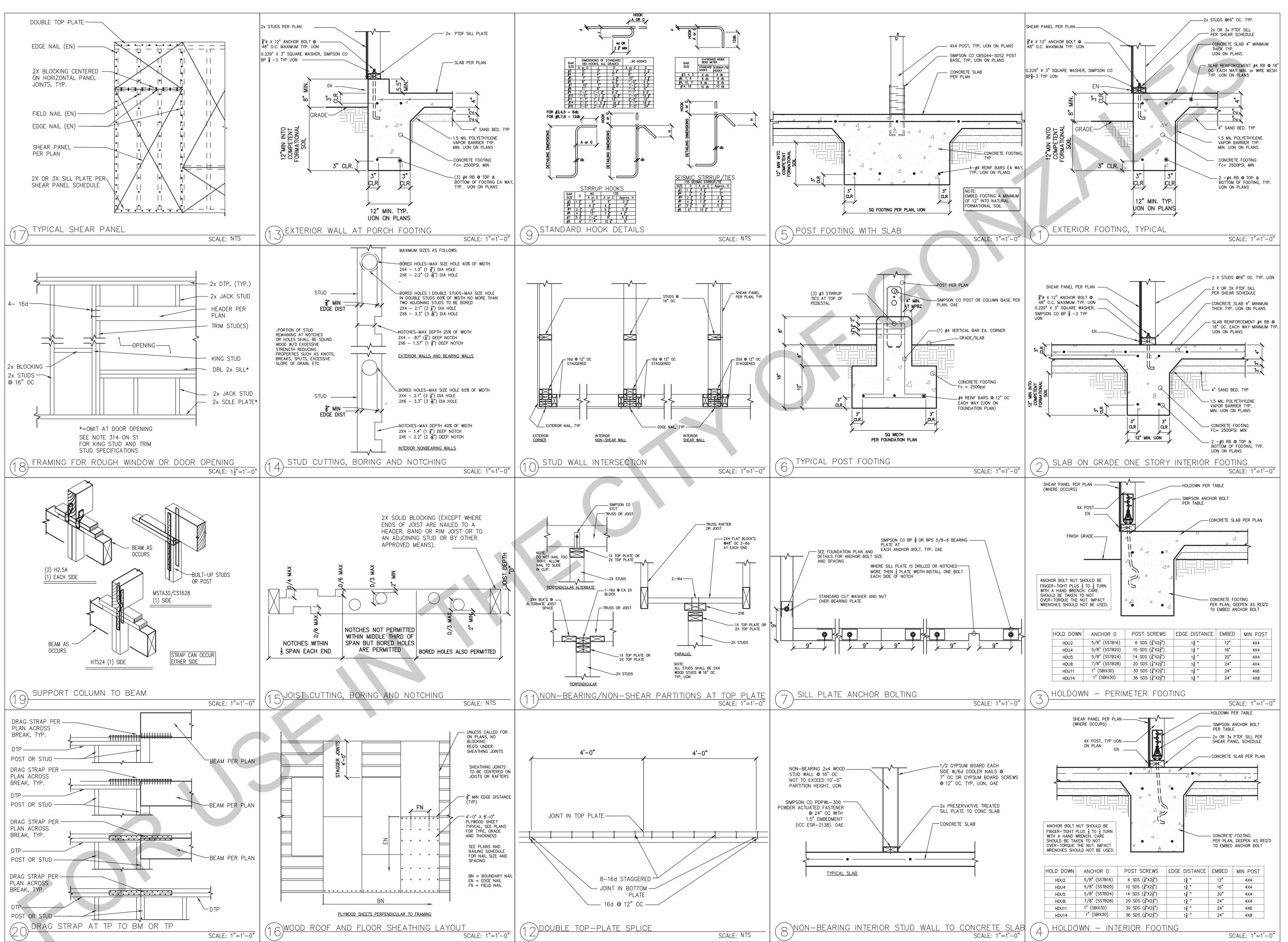


date September 2023
project no.

drawn by DESIGN PATH STUDIO

sheet no.

**S**6



architecture + planning

BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:

1. THE USE OF THIS INFORMATION IS
RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF GONZALES ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF GONZALES **BUILDING DEPARTMENT. BUILDING CODES** DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.
2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO 4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

project

City of Gonzales Pre-Approved ADU Plans

revisions

A
A
A

Structural Details

date September 2023

project no.

drawn by DESIGN PATH STUDIO

sheet no.

**S7** 

(Page 1 of 12)

CalCERTS inc.

CF1R-PRF-01-E

-10.41

12.08

7.57

-14.03

5.9

12.03

CalCERTS inc.

CF1R-PRF-01-E

(Page 7 of 12)

CalCERTS inc.

Margin (EDR1) Margin (EDR2)

-0.19

0.05

0

1.19

1.05

-0.6

0.05

1.18

0.63

Report Generated: 2023-07-07 11:18:02

HERS Provider:

HERS Provider:

Report Generated: 2023-07-07 11:18:02

(Page 4 of 12)

Calculation Date/Time: 2023-07-07T11:17:02-07:00

Standards Version 2022

Front Orientation (deg/ Cardinal) All orientations

Number of Stories 1

Glazing Percentage (%) 27.40%

Number of Dwelling Units |

Fenestration Average U-factor 0.3

Number of Bedrooms

Software Version EnergyPro 9.0

HERS Provider:

Report Generated: 2023-07-07 11:18:02

Input File Name: tmp6836.ribd22x

BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF GONZALES ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF GONZALES BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.
2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS. 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.

4. IF THE RECIPIENT DOES NOT AGREE WITH THE

ABOVE CONDITIONS, DO NOT PROCEED WITH

IMPROVEMENT UNDER THESE PLANS AT ALL.

CONSTRUCTION OF AN ADU OR OTHER

project

City of Gonzales Pre-Approved ADL Plans

revisions

description Energy Calculations

project no.

drawn by Design Path Studio

September 2023

**BUILDING ENERGY ANALYSIS REPORT** PROJECT: Gonzales ADU - 2 Bedroom Plan 2B 2023 Gonzales, CA

> Project Designer: Design Path Studio P.O. Box 230165 Encinitas, CA 92023 (760) 944-1443

Report Prepared by: Design Path Studio

Job Number:

7/7/2023

e EnergyPro computer program has been used to perform the calculations summarized in this compliance report. This program has approval and authorized by the California Energy Commission for use with both the Residential and Nonresidential 2019 Building Energy Efficiency Standards.

This program developed by EnergySoft Software – www.energysoft.com.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Gonzales ADU - 2 Bedroom Plan 2B 2023 Calculation Date/Time: 2023-07-07T11:17:02-07:00

| NERGY DESIGN RATINGS |                         |   |                                       |                         |   |                                       |  |  |  |
|----------------------|-------------------------|---|---------------------------------------|-------------------------|---|---------------------------------------|--|--|--|
|                      |                         | Energy Design Ratings                           |                                       | Compliance Margins      |   |                                       |  |  |  |
|                      | Source Energy<br>(EDR1) | Efficiency <sup>1</sup> EDR<br>(EDR2efficiency) | Total <sup>2</sup> EDR<br>(EDR2total) | Source Energy<br>(EDR1) | Efficiency <sup>1</sup> EDR<br>(EDR2efficiency) | Total <sup>2</sup> EDR<br>(EDR2total) |  |  |  |
| Standard Design      | 41.7                    | 42.2  | 59                                    |                         |   |                                       |  |  |  |
|                      | Proposed Design         |   |                                       |                         |   |                                       |  |  |  |
| North Facing         | 40.5                    | 39.9  | 57.8                                  | 1.2                     | 2.3   | 1.2                                   |  |  |  |
| East Facing          | 39.8                    | 37.4  | 56.6                                  | 1.9                     | 4.8   | 2.4                                   |  |  |  |
| South Facing         | 39.5                    | 36.8  | 56.4                                  | 2.2                     | 5.4   | 2.6                                   |  |  |  |
| West Facing          | 40.3                    | 39.4  | 57.6                                  | 1.4                     | 2.8   | 1.4                                   |  |  |  |

RESULT<sup>3</sup>: PASS

Input File Name: tmp6836.ribd22x

Efficiency EDR includes improvements l<mark>ike a b</mark>etter building envelope and more efficient equipment <sup>2</sup>Total EDR includes efficiency and demand response measures such as photovoltaic (PV) system and batteries <sup>3</sup>Building complies when source energy, efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded

Proposed PV Capacity Scaling: North (0.00 kWdc) East (0.00 kWdc) South (0.00 kWdc) West (0.00 kWdc)

223-P010080464A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Calculation Description: Title 24 Analysis

Registration Number: 223-P010080464A-000-000-0000000-0000 Registration Date/Time: HERS Provider 2023-07-07 11:24:20 CalCERTS inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-07-07 11:18:02 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Gonzales ADU - 2 Bedroom Plan 2B 2023 Calculation Date/Time: 2023-07-07T11:17:02-07:00 Calculation Description: Title 24 Analysis Input File Name: tmp6836.ribd22x

|                        | Standard Design (kBtu/ft <sup>2</sup> - yr ) | Proposed Design (kBtu/ft <sup>2</sup> - yr ) | Compliance Margin (kBtu/ft <sup>2</sup> - yr ) | Margin Percentage |
|------------------------|--|--|--|-------------------|
| North Facing           | •  |  |  |                   |
| Gross EUI <sup>1</sup> | 25.92  | 24.62  | 1.3  | 5.02              |
| Net EUI <sup>2</sup>   | 25.92  | 24.62  | 1.3  | 5.02              |
| East Facing            |  |  |  |                   |
| Gross EUI <sup>1</sup> | 25.92  | 24.17  | 1.75   | 6.75              |
| Net EUI <sup>2</sup>   | 25.92  | 24.17  | 1.75   | 6.75              |
| South Facing           |  |  |  |                   |
| Gross EUI <sup>1</sup> | 25.92  | 24.09  | 1.83   | 7.06              |
| Net EUI <sup>2</sup>   | 25.92  | 24.09  | 1.83   | 7.06              |
| West Facing            |  | KS PROV                                      | TDER   |                   |
| Gross EUI <sup>1</sup> | 25.92  | 24.56  | 1.36   | 5.25              |
| Net EUI <sup>2</sup>   | 25.92  | 24.56  | 1.36   | 5.25              |

Registration Date/Time:

Report Version: 2022.0.000

Schema Version: rev 20220901

HERS Provider: 2023-07-07 11:24:20 CalCERTS inc. Report Generated: 2023-07-07 11:18:02

CF1R-PRF-01-E

(Page 2 of 12)

TITLE 24 COMPLIANCE REQUIREMENTS SUMMARY Gonzales ADU - 2B Ceiling Insulation = R-30 min. at rafters Radiant Barrier - No Roofing - per owner - No Cool Roof Req'd Wall Insulation = R-21 at new 2 x 6 walls Floor Insulation – N/A. Thermal Mass Areas = Exposed Slab Flooring QII- Yes-Hire HERS rater early before drywall. Alert insulation contractor. SOLAR - Not required. Minimum < 1.8kWdc Glazing = All new windows & doors are dual glazing. All glass is clear. Glazing shall be installed with a NFRC certifying label attached showing U-factor. Solar Heat Gain Co-efficient = 0.23 windows, doors. U-Factor = 0.30 windows, doors. \*Owner to purchase windows & doors w/ specified Uvalues & SHGC's or better. Hot Water Heater = 40-gal heat pump RHEEM PROPH40T2RH37530 or eq. Uniform Energy Factor is 3.1 min. NEEA Rated. HERS VERIFIED. IAQ FAN - 44 cfm & 0.35 cfm power. Verify w/ Mech. (continuous ventilation per ASHRAE 62.2 is reg'd for IAQ.) HERS VERIFIED. Note IAQ fan on plan w/ timer switch w/ manual off & sound rating of 1 sone. HSPF - 9.5 min. (New mini-split) SEER - 18.0 min. (new) HERS REQUIRED: REFRIGERANT CHARGE, AIRFLOW IN HABITABLE ROOMS (SC3.1.4.1.7), VERIFIED HEAT PUMP RATED HEATING CAPACITY, WALL-MOUNTED THERMOSTAT IN ZONES GREATER THAN 150 S.F. (SC3.4.5) AND DUCTLESS INDOOR UNITS ARE LOCATED ENTIRELY IN CONDITIONED SPACE (SC3.1.4.1.8). Duct Insulation = none Duct (HERS) 5% Leakage Test - NO \*Heater Sizing Total Sensible heating load - 12,031 Btu FUJITSU #AOU12R2 or eq - 14,176 Btu \*A/C Sizing Total Sensible cooling load - 8,543 Btu - 1 ton WHOLE HOUSE ATTIC COOLING FAN - N/R for compliance \*These load calculations, sizing & equipment are for Title 24 purposes & should be verified HVAC by a Mechanical Engineer/Contractor. Owner may install any Make & Model HVAC equipment that is equal or greater than the min. efficiencies listed above. All equipment is listed "or eq" ALL LIGHTING TO BE HIGH EFFICACY - SEE MF1R FOR SWITCHING & NOTES.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01-E Project Name: Gonzales ADU - 2 Bedroom Plan 2B 2023 Calculation Date/Time: 2023-07-07T11:17:02-07:00 (Page 3 of 12) Calculation Description: Title 24 Analysis Input File Name: tmp6836.ribd22x

LOCAL EXHAUST FAN RATES BATH = 50 CFM, KITCHEN = 100 CFM, < 3 sones &

SONE RATING = 1 FOR CONTINUOUS FAN AND 3 FOR INTERMITTENT FAN.

listed on CEC directory, HERS VERIFIED \*\*

| ENERGY USE SUMMARY                             |  |   |  |   |                             |                             |
|--|--|---|--|---|-----------------------------|-----------------------------|
| Energy Use                                     | Standard Design Source<br>Energy (EDR1) (kBtu/ft <sup>2</sup> -yr) | Standard Design TDV Energy<br>(EDR2) (kTDV/ft <sup>2</sup> -yr) | Proposed Design Source<br>Energy (EDR1) (kBtu/ft <sup>2</sup> -yr) | Proposed Design TDV Energy<br>(EDR2) (kTDV/ft <sup>2</sup> -yr) | Compliance<br>Margin (EDR1) | Compliance<br>Margin (EDR2) |
| Space Heating                                  | 2.64   | 11.61   | 3.35   | 26.33   | -0.71                       | -14.72                      |
| Space Cooling                                  | 0.05   | 5.9   | 0  | 0   | 0.05                        | 5.9                         |
| IAQ Ventilation                                | 0.46   | 4.93  | 0.46   | 4.93  | 0                           | 0                           |
| Water Heating                                  | 3.34   | 36.18   | 2.16   | 24.18   | 1.18                        | 12                          |
| Self<br>Utilization/Flexibility<br>Credit      | A  |   |  | 0   |                             | 0                           |
| North Facing<br>Efficiency Compliance<br>Total | 6.49   | 58.62   | 5.97   | 55.44   | 0.52                        | 3.18                        |
| Space Heating                                  | 2.64   | 11.61   | 2.97   | 22.89   | -0.33                       | -11.28                      |
| Space Cooling                                  | 0.05   | H 5.9 R S   | PRQVII   | D E R <sub>o</sub>  | 0.05                        | 5.9                         |
| IAQ Ventilation                                | 0.46   | 4.93  | 0.46   | 4.93  | 0                           | 0                           |
| Water Heating                                  | 3.34   | 36.18   | 2.16   | 24.12   | 1.18                        | 12.06                       |
| Self<br>Utilization/Flexibility<br>Credit      |  |   |  | 0   |                             | 0                           |
| East Facing Efficiency<br>Compliance Total     | 6.49   | 58.62   | 5.59   | 51.94   | 0.9                         | 6.68                        |

Registration Number: 223-P010080464A-000-000-0000000-0000 Registration Date/Time: 2023-07-07 11:24:20 HERS Provider: CalCERTS inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-07-07 11:18:02 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01-E Project Name: Gonzales ADU - 2 Bedroom Plan 2B 2023 Calculation Date/Time: 2023-07-07T11:17:02-07:00 (Page 6 of 12) Calculation Description: Title 24 Analysis Input File Name: tmp6836.ribd22x

| REQUIRED PV SYS          | EQUIRED PV SYSTEMS |                   |            |                   |      |                  |               |                      |                    |                      |                               |
|--------------------------|--------------------|-------------------|------------|-------------------|------|------------------|---------------|----------------------|--------------------|----------------------|-------------------------------|
| 01                       | 02                 | 03                | 04         | 05                | 06   | 07               | 08            | 09                   | 10                 | 11                   | 12                            |
| DC System Size<br>(kWdc) | Exception          | Module Type       | Array Type | Power Electronics | CFI  | Azimuth<br>(deg) | Tilt<br>Input | Array Angle<br>(deg) | Tilt: (x in<br>12) | Inverter Eff.<br>(%) | Annual<br>Solar Access<br>(%) |
| 0                        |                    | Standard (14-17%) | Fixed      | none              | true | n/a              | n/a           | n/a                  | n/a                | n/a                  |                               |

REQUIRED SPECIAL FEATURES The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis. PV exception 2: No PV required when minimum PV size (Section 150.1(c)14) < 1.8 kWdc (0 kW) Exposed slab floor in conditioned zone Variable capacity heat pump compliance option (verification details from VCHP Staff report, Appendix B, and RA3) Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater; specific brand/model, or equivalent, must be installed

HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry Quality insulation installation (QII) HERS PROVIDER Indoor air quality ventilation Kitchen range hood Verified Refrigerant Charge Airflow in habitable rooms (SC3.1.4.1.7)

| BUILDING - FEATURES INFORMATION          |   |                             |                    |                 |  |                                    |  |  |  |
|--|---|-----------------------------|--------------------|-----------------|--|------------------------------------|--|--|--|
| 01                                       | 02  | 03                          | 04                 | 05              | 06                                       | 07                                 |  |  |  |
| Project Name                             | Conditioned Floor Area (ft <sup>2</sup> ) | Number of Dwelling<br>Units | Number of Bedrooms | Number of Zones | Number of Ventilation<br>Cooling Systems | Number of Water<br>Heating Systems |  |  |  |
| Gonzales ADU - 2 Bedroom<br>Plan 2B 2023 | 746                                       | 1                           | 2                  | 1               | 0  | 1                                  |  |  |  |

Registration Number: 223-P010080464A-000-000-0000000-0000 Registration Date/Time: HERS Provider: 2023-07-07 11:24:20 CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000

CalCERTS inc. Report Generated: 2023-07-07 11:18:02

IAQ Ventilation Water Heating tilization/Flexibility Credit South Facing Efficiency Compliance Total Space Heating Space Cooling IAQ Ventilation Water Heating West Facing Efficiency **Compliance Total** Registration Number: 223-P010080464A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Gonzales ADU - 2 Bedroom Plan 2B 2023 Calculation Date/Time: 2023-07-07T11:17:02-07:00 Calculation Description: Title 24 Analysis Input File Name: tmp6836.ribd22x ZONE INFORMATION

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

**Project Location** 

Zip code

Building Type | Single family

Climate Zone 3

Project Scope

Addition Cond. Floor Area (ft<sup>2</sup>) 0

Registration Number: 223-P010080464A-000-000-0000000-0000

Project Name: Gonzales ADU - 2 Bedroom Plan 2B 2023

Calculation Description: Title 24 Analysis

**ENERGY USE SUMMARY** 

Energy Use

Space Heating

Space Cooling

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Energy (EDR1) (kBtu/ft<sup>2</sup> -yr)

2.64

0.46

3.34

2.64

0.46

3.34

6.49

Registration Number: 223-P010080464A-000-000-000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Standard Design Source Standard Design TDV Energy

(EDR2) (kTDV/ft<sup>2</sup> -yr)

11.61

5.9

4.93

36.18

58.62

11.61

LI 5.9 D C

4.93

36.18

58.62

Existing Cond. Floor Area (ft<sup>2</sup>) n/a

Total Cond. Floor Area (ft<sup>2</sup>) 746

ADU Bedroom Count n/a

03 This building incorporates one or more Special Features shown below

Project Name | Gonzales ADU - 2 Bedroom Plan 2B 2023

Building Complies with Computer Performance

This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.

Registration Date/Time: 2023-07-07 11:24:20

Energy (EDR1) (kBtu/ft<sup>2</sup> -yr)

2.83

0

0.46

2.15

3.24

0.46

2.16

5.86

Registration Date/Time: 2023-07-07 11:24:20

Report Version: 2022.0.000

Schema Version: rev 20220901

Calculation Date/Time: 2023-07-07T11:17:02-07:00

Proposed Design Source Proposed Design TDV Energy

(EDR2) (kTDV/ft<sup>2</sup> -yr)

22.02

4.93

24.1

25.64

4.93

24.15

E D 0

Input File Name: tmp6836.ribd22x

Report Version: 2022.0.000

Schema Version: rev 20220901

Run Title Title 24 Analysis

Project Name: Gonzales ADU - 2 Bedroom Plan 2B 2023

Calculation Description: Title 24 Analysis

GENERAL INFORMATION

| 01 02               |                     | 03                   | 04           |             |                     | 05                            | 06                     |                               | 07            |
|---------------------|---------------------|----------------------|--------------|-------------|---------------------|-------------------------------|------------------------|-------------------------------|---------------|
| Zone Name           | Zone Type           | HVAC System Name     | Zone Floor A | rea (ft²)   | Avg. Ceiling Height |                               | Water Heating System 1 |                               | Status<br>New |
| ADU - 2 Bed Plan 2B | Conditioned         | Ductless Mini Split1 | 746          | 746         |                     | 9                             |                        | DHW Sys 1                     |               |
| AQUE SURFACES       |                     |                      |              |             |                     |                               |                        |                               |               |
| 01                  | 02                  | 03                   | 04           | 05          |                     | 06                            |                        | 07                            | 08            |
| Name                | Zone                | Construction         | Azimuth      | Orientation |                     | Gross Area (ft <sup>2</sup> ) |                        | Window and Door<br>Area (ft2) | Tilt (deg)    |
| Frank Well DD       | ADU - 2 Bed Plan 2B | R-21 Wall            | 0            | Fron        |                     | 201                           |                        | 00.2                          | 90            |
| Front Wall - 2B     |                     | II ZI Wall           | O            | FIOI        | ıt                  | 261                           |                        | 80.3                          | ] 30          |
| Right Wall - 2B     | ADU - 2 Bed Plan 2B | R-21 Wall            | 270          | Righ        | -                   | 269                           | +                      | 32                            | 90            |
|                     | 4 %                 |                      |              |             | it                  |                               | +                      |                               |               |

| OPAQUE SURFAC            | ES - CATHEDRAL         | CEILINGS              | 8       |             |            |                                     |                     |                     |                |        |
|--------------------------|------------------------|-----------------------|---------|-------------|------------|-------------------------------------|---------------------|---------------------|----------------|--------|
| 01                       | 02                     | 03                    | 04      | 05          | 06         | 07                                  | 08                  | 09                  | 10             | 11     |
| Name                     | Zone                   | Construction          | Azimuth | Orientation | Area (ft²) | Skylight Area<br>(ft <sup>2</sup> ) | Roof Rise (x in 12) | Roof<br>Reflectance | Roof Emittance | Cool R |
| Roof (cath) avg<br>pitch | ADU - 2 Bed<br>Plan 2B | R-30 Roof No<br>Attic | 90      | Left        | 746        | 0                                   | 3                   | 0.1                 | 0.85           | No     |

| 01           | 02     | 03              | 04          | 05      | 06            | 07             | 08    | 09                         | 10       | 11                 | 12   | 13          | 14              |
|--------------|--------|-----------------|-------------|---------|---------------|----------------|-------|----------------------------|----------|--------------------|------|-------------|-----------------|
| Name         | Туре   | Surface         | Orientation | Azimuth | Width<br>(ft) | Height<br>(ft) | Mult. | Area<br>(ft <sup>2</sup> ) | U-factor | U-factor<br>Source | SHGC | SHGC Source | Exterior Shadin |
| Door 3       | Window | Front Wall - 2B | Front       | 0       |               |                | 1     | 33.3                       | 0.3      | NFRC               | 0.32 | NFRC        | Bug Screen      |
| Window (2) A | Window | Front Wall - 2B | Front       | 0       |               |                | 1     | 27                         | 0.3      | NFRC               | 0.32 | NFRC        | Bug Screen      |
| Door 1       | Window | Front Wall - 2B | Front       | 0       |               |                | 1     | 20                         | 0.3      | NFRC               | 0.32 | NFRC        | Bug Screen      |

Registration Date/Time:

Report Version: 2022.0.000

Schema Version: rev 20220901

2023-07-07 11:24:20

Schema Version: rev 20220901

Verified heat pump rated heating capacity Wall-mounted thermostat in zones greater than 150 ft2 (SC3.4.5) Ductless indoor units located entirely in conditioned space (SC3.1.4.1.8)

project

City of Gonzales Pre-Approved ADU Plans

ABOVE CONDITIONS, DO NOT PROCEED WITH

IMPROVEMENT UNDER THESE PLANS AT ALL.

CONSTRUCTION OF AN ADU OR OTHER

revisions

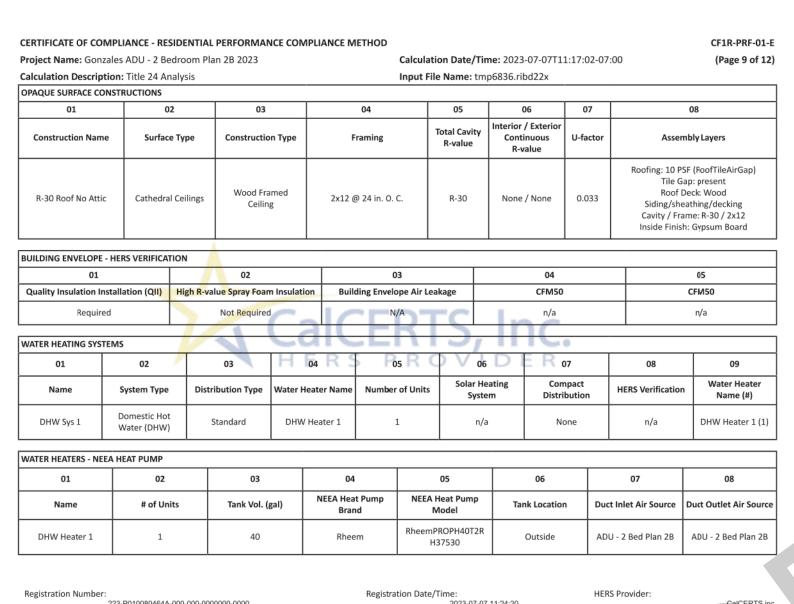
description

Energy Calculations

September 2023

project no.

drawn by design path studio



| Project Name: Gonzales ADU - 2 Bedroom Plan 2B 2023  | Calculation Date/Time: 2023-07-07T11:17:02-07:00 (Page 12 of 12   |
|--|---|
| Calculation Description: Title 24 Analysis   | Input File Name: tmp6836.ribd22x  |
| DOCUMENTATION AUTHOR'S DECLARATION STATEMENT   |   |
| I certify that this Certificate of Compliance documentation is accurate and complete.            |   |
| Documentation Author Name:   | Documentation Author Signature:   |
| Yvonne St Pierre   | Yvonne St Pierre  |
| Company:   | Signature Date:   |
| Design Path Studio   | 2023-07-07 11:24:20   |
| Address:   | CEA/ HERS Certification Identification (If applicable):   |
| PO Box 230165  |   |
| City/State/Zip:  | Phone:  |
| Encinitas, CA 92023  | 619-292-8807  |
| RESPONSIBLE PERSON'S DECLARATION STATEME <mark>NT</mark>   |   |
| certify the following under penalty of perjury, under the laws of the State of California:       |   |
| I am eligible under Division 3 of the Business and Professions Code to accept responsibility for |   |
|  | of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. |
| calculations, plans and specifications submitted to the enforcement agency for approval with     |   |
| Responsible Designer Name:   | Responsible Designer Signature:   |
| Yvonne St Pierre   | Yvonne St Pierre  |
| Company:   | Date Signed:  |
| Design Path Studio   | 2023-07-07 11:24:20   |
| Address:   | License:  |
| PO Box 230165  | C 34789   |
| City/State/Zip:  | Phone:  |

at CalCERTS.com

| -000-0000000-0000           | Registration Date/Time:<br>2023-07-07 11:24:20             | HERS Provider:  CalCERTS inc          |
|-----------------------------|--|---------------------------------------|
| 2022 Residential Compliance | Report Version: 2022.0.000<br>Schema Version: rev 20220901 | Report Generated: 2023-07-07 11:18:02 |
|                             |  |                                       |

|                   | 2022 Single-Family Residential Mandatory Requirements Summary  |
|-------------------|--|
| § 150.0(m)13:     | Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.45 watts per CFM for gas furnace air handlers and ≤ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3. * |
|                   |  |
| entilation and Ir | ndoor Air Quality:   |
| § 150.0(o)1:      | Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2,<br>Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)1. *  |
| § 150.0(o)1B:     | Central Fan Integrated (CFI) Ventilation Systems. Continuous operation of CFI air handlers is not allowed to provide the whole-<br>dwelling unit ventilation airflow required per §150.0(o)10. A motorized damper(s) must be installed on the ventilation duct(s) that<br>prevents all airflow through the space conditioning duct system when the damper(s) is closed and controlled per §150.0(o)1Biliativ. CFI<br>ventilation systems must have controls that track outdoor air ventilation run time, and either open or close the motorized damper(s) for<br>compliance with §150.0(o)10.  |
| § 150.0(o)1C:     | Whole-Dwelling Unit Mechanical Ventilation for Single-Family Detached and townhouses. Single-family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow specified in § 150.0(o)10-liii.  |
| § 150.0(o)1G:     | Local Mechanical Exhaust. Kitchens and bathrooms must have local mechanical exhaust; nonenclosed kitchens must have demand-<br>controlled exhaust system meeting requirements of §153.0(o)16iii.enclosed kitchens and bathrooms can use demand-controlled or<br>continuous exhaust meeting §150.0(o)16iii-iv. Airflow must be measured by the installer per §150.0(o)1Gv, and rated for sound per<br>§150.0(o)16vi. *  |
| § 150.0(o)1H&I:   | Airflow Measurement and Sound Ratings of Whole-Dwelling Unit Ventilation Systems. The airflow required per § 150.0(o)1C must be measured by using a flow hood, flow grid, or other airflow measuring device at the fan's inlet or outlet terminals/grilles per Reference Residential Appendix RA3.7. Whole-Dwelling unit ventilation systems must be rated for sound per ASHRAE 62.2 §7.2 at no less than the minimum airflow rate required by §150.0(o)1C.  |
| § 150.0(o)2:      | Field Verification and Diagnostic Testing. Whole-Dwelling Unit ventilation airflow, vented range hood airflow and sound rating,<br>and HRV and ERV fan efficacy must be verified in accordance with Reference Residential Appendix RA3.7. Vented range hoods<br>must be verified per Reference Residential Appendix RA3.7.4.3 to confirm if it is rated by HVI or AHAM to comply with the airflow<br>rates and sound requirements per §150.0(o)1G  |
| ool and Spa Sys   | stems and Equipment:   |
| § 110.4(a):       | Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: compliance with the Appliance Efficiency Regulations and listing in MAEDbS; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating.   |
| § 110.4(b)1:      | Piping. Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.   |
| § 110.4(b)2:      | Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover.   |
| § 110.4(b)3:      | Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.  |
| § 110.5:          | Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light.  |
| § 150.0(p):       | Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves."  |
| ighting:          |  |
| § 110.9:          | Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements of § 110.9.   |
| § 150.0(k)1A:     | Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A, except lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors, and garage door openers; navigation lighting less than 5 watts; and lighting internal to drawers, cabinets, and linen closests with an efficacy of at least 45 lumens per watt.  |
| 150.0(k)1B:       | Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8. *   |
| § 150.0(k)1C:     | Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must not contain screw based sockets, must be airtight, and must be sealed with a gasket or caulk. California Electrical Code § 410.116 must also be met.   |

| , see                                   | GLAZING                               |  |                                  |                           |  |   |                                    |  |                                     |   |   |   |  |  |  |
|---|---------------------------------------|--|----------------------------------|---------------------------|--|---|------------------------------------|--|-------------------------------------|---|---|---|--|--|--|
| 01                                      | 02                                    | 03   | 04                               | 05                        | 06   | 07  | 08                                 | 09   | 10                                  | 11  | 1   | 2   | 13   | 14   |  |
| Name                                    | Туре                                  | Surface  | Orientation                      | Azimuth                   | Width<br>(ft)  | Height<br>(ft)  | Mult.                              | Area<br>(ft <sup>2</sup> )                   | U-facto                             | r U-factor<br>Source  | SH  | GC :  | SHGC Source  | Exterior Shading   |  |
| Window E                                | Window                                | Right Wall - 2B  | Right                            | 270                       |  |   | 1                                  | 6  | 0.3                                 | NFRC  | 0.3   | 32  | NFRC   | Bug Screen   |  |
| Window F                                | Window                                | Right Wall - 2B  | Right                            | 270                       |  |   | 1                                  | 7.5  | 0.3                                 | NFRC  | 0.3   | 32  | NFRC   | Bug Screen   |  |
| Window G                                | Window                                | Right Wall - 2B  | Right                            | 270                       |  |   | 1                                  | 5  | 0.3                                 | NFRC  | 0.3   | 32  | NFRC   | Bug Screen   |  |
| Window A                                | Window                                | Right Wall - 2B  | Right                            | 270                       |  |   | 1                                  | 13.5   | 0.3                                 | NFRC  | 0.3   | 32  | NFRC   | Bug Screen   |  |
| Window (6) D                            | Window                                | Back Wall - 2B   | Back                             | 180                       |  |   | 1                                  | 30   | 0.3                                 | NFRC  | 0.3   | 32  | NFRC   | Bug Screen   |  |
| Window (2) C                            | Window                                | Left Wall - 2B   | Left                             | 90                        |  |   | 1                                  | 20   | 0.3                                 | NFRC  | 0.3   | 32  | NFRC   | Bug Screen   |  |
| Window B                                | Window                                | Left Wall - 2B   | Left                             | 90                        |  |   | 1                                  | 9  | 0.3                                 | NFRC  | 0.3   | 32  | NFRC   | Bug Screen   |  |
| Door 2                                  | Window                                | Left Wall - 2B   | Left                             | 90                        |  |   | 1                                  | 33.33  | 0.3                                 | NFRC  | 0.:   | 32  | NFRC   | Bug Screen   |  |
| AB FLOORS                               |                                       |  |                                  |                           | RS   | Р   | R                                  | o v  | 46                                  | FR  |   |   |  |  |  |
| 01                                      |                                       | 02   | 03                               |                           | 04   |   | N 76.                              | 05   |                                     | 06  |   | 07  |  | 08   |  |
| Name                                    |                                       | Zone   | Area (ft <sup>2</sup>            | )                         | Perimeter  | (ft)  |                                    | nsul. R-val                                  | ue E                                | dge Insul. R-val  | ue c  | Carpeted Fraction   |  | Heated   |  |
| Slab-on-Grade                           | e ADU -                               | 2 Bed Plan 2B  | 746                              |                           | 126  |   |                                    | none   |                                     | 0   |   | 0%  |  | No   |  |
| PAQUE SURFACE                           | CONSTRUCTI                            | ONS  |                                  |                           |  |   |                                    |  |                                     |   | '   |   | •  |  |  |
| 01                                      |                                       | 02   | 03                               |                           |  | 04  |                                    | 05   |                                     | 06  | 07  |   | 08   |  |  |
| Construction N                          | lame                                  | Surface Type   | Constructio                      | Construction Type Framing |  | ming  |                                    | Total Cavity R-value R-value R-value R-value |                                     | · ·   | U-factor Assembl                                      |   | Assembly I   | ly Layers  |  |
| R-21 Wall                               | E                                     | xterior Walls  | Wood Framed Wall 2x6 @ 16        |                           | l6 in. O. C  | :   | R-21 None / N                      |  | one / None                          | 0.069   |   | Inside Finish: Gypsum Board<br>Cavity / Frame: R-21 / 2x6<br>Exterior Finish: 3 Coat Stucco |  |  |  |
| RTIFICATE OF                            | <b>COMPLIANC</b><br>ionzales ADU      | endards - 2022 Re  - RESIDENTIAL - 2 Bedroom Pla                   | PERFORMAN                        |                           | LIANCE ME  | Schema  | Version:                           | 2022.0.000<br>rev 202209                     | 901<br>/Time: 2                     | 023-07-07T11<br>5 ribd22x   |   |   | ated: 2023-07-                                     | CF1R-PRF-01-<br>(Page 11 of 12                           |  |
| ilculation Desc                         | 22/01                                 | 24 Allalysis   |                                  |                           |  |   | Innut F                            | ile Name                                     | tmn683                              |   |   |   |  |  |  |
| DIADLE CARCE                            | IY HEAT PUMI                          | COMPLIANCE   | TION USES                        | (EDIFICAT: O              | Na.1   |   | Input F                            | ile Name:                                    | tmp683                              |   |   |   |  |  |  |
| ARIABLE CAPACI                          | į.                                    | COMPLIANCE OF  | PTION - HERS \                   | ERIFICATIO                | ON 04  | 0   |                                    | ile Name:                                    |                                     | 07  | 0:  | 8   | 09   | 10   |  |
|   |                                       |  | 03<br>Airflow<br>Habitab         | to Duc                    |  | 0<br>Wall N   | 5<br>Mount                         |  | Sizing                              | 07<br>Low Leakage<br>Ducts in<br>Conditioned                      | Minir<br>Airflo                                       | num<br>w per  | 09<br>Certified<br>non-continuous<br>Fan           | Indoor Fan no  |  |
| 01                                      | ne                                    | 02<br>Certified<br>Low-Static                                      | Airflow<br>Habitab<br>Room       | to Duc<br>ile in C        | 04<br>ctless Units                                     | Wall N  | 5<br>Mount<br>nostat               | 06<br>Air Filter<br>& Pr                     | Sizing<br>ressure<br>ating          | 07<br>Low Leakage<br>Ducts in                                     | Minir<br>Airflo                                       | mum<br>w per<br>3 and<br>3.4.1  | Certified<br>non-continuous                        | Indoor Fan no<br>Running<br>Continuously                 |  |
| Nan<br>Heat Pump                        | ne<br>System 1                        | O2  Certified Low-Static VCHP System  Not required                 | 03<br>Airflow<br>Habitak<br>Room | to Duc<br>ile in C        | 04<br>ctless Units<br>conditioned<br>Space             | Wall N<br>Thern   | 5<br>Mount<br>nostat               | 06<br>Air Filter<br>& Pr<br>Drop Ri          | Sizing<br>ressure<br>ating          | 07<br>Low Leakage<br>Ducts in<br>Conditioned<br>Space             | Minir<br>Airflor<br>RA3.3<br>SC3.3                    | mum<br>w per<br>3 and<br>3.4.1  | Certified<br>non-continuous<br>Fan                 | Indoor Fan no  |  |
| Nan<br>Heat Pump                        | ne<br>System 1                        | O2  Certified Low-Static VCHP System  Not required                 | 03<br>Airflow<br>Habitak<br>Room | to Duc<br>ile in C        | 04<br>ctless Units<br>conditioned<br>Space<br>Required | Wall N<br>Thern   | 5<br>Mount<br>nostat               | 06<br>Air Filter<br>& Pr<br>Drop Ri          | Sizing<br>ressure<br>ating          | 07<br>Low Leakage<br>Ducts in<br>Conditioned<br>Space             | Minir<br>Airflor<br>RA3.3<br>SC3.3<br>Not rea         | mum<br>w per<br>3 and<br>3.4.1  | Certified<br>non-continuous<br>Fan                 | Indoor Fan no<br>Running<br>Continuously                 |  |
| Nan<br>Heat Pump<br>DOOR AIR QUA        | System 1                              | O2  Certified Low-Static VCHP System  Not required  S  (CFM)  Fa   | Airflow<br>Habital<br>Room       | to Duc<br>ile in C        | 04 ctless Units conditioned Space Required             | Wall M<br>Therm<br>Requ                                 | 5 Mount nostat uired 5 udes Energy | O6 Air Filter & amp; Pi Drop R: Not req      | Sizing<br>ressure<br>ating<br>uired | 07 Low Leakage Ducts in Conditioned Space Not required  0 Include | Minir<br>Airflor<br>RA3.3<br>SC3.3<br>Not rec         | w per 3 and 3.4.1   | Certified<br>non-continuous<br>Fan<br>Not required | Indoor Fan no<br>Running<br>Continuously<br>Not required |  |
| Nan<br>Heat Pump<br>IDOOR AIR QUA<br>01 | System 1  LITY (IAQ) FAN  0:  Airflow | O2  Certified Low-Static VCHP System  Not required  S  (CFM)  Fa ( | Airflow Habitak Room Require     | to Ducin C                | 04 ctless Units conditioned Space Required 4 n Type    | Wall M<br>Therm<br>Requ<br>0<br>Inclu<br>Heat/I<br>Reco | 5 Mount nostat uired 5 udes Energy | O6 Air Filter & amp; Pi Drop R: Not req      | Sizing ressure ating uired          | 07 Low Leakage Ducts in Conditioned Space Not required  0 Include | Minin Airflor RA3.3 SC3.3. Not red 7 s Fault Display? | w per s and s.3.4.1 quired  | Certified non-continuous Fan  Not required         | Indoor Fan not Running Continuously  Not required        |  |

CF1R-PRF-01-E

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Registration Number: 223-P010080464A-000-000-0000000-0000 Registration Date/Time: HERS Provider 2023-07-07 11:24:20 CalCERTS inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Generated: 2023-07-07 11:18:02 Report Version: 2022.0.000 Schema Version: rev 20220901

2022 Single-Family Residential Mandatory Requirements Summary Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour ); and poo Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)2.

Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of an dryer.

Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the § 150.0(h)38: manufacturer's instructions.

Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation. All domestic hot water piping must be insulated as specified in § 609.11 of the California Plumbing Code. \* Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment' maintenance, and wind as required by \$120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (n adhesive tapse). Insulation covering childed water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crushable casing or sleeve.

Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must designate a space at least 2.5' x 2.5' x 7' suitable for the future installation of a heat pump water heater, and meet electrical and plumbing requirements, based on the distance between this designated space and the water heater location; and a condensate drain no more than 2' higher than the base of the water heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the executive director. ucts and Fans:

Ducts. Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a Ducts. Insulation installed on an existing space-conditioning duct must comply with § 604,0 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.

CMC Compliance. All air-distribution system ducts and plenums must meet CMC §§ 601.0-605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated to R-6.0 or higher; ducts located entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8) do not require insulation. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable UL requirements, or aerosol sealant that meets UL 723. The combination of mastic and either mesh or tape must be used to seal openings greater than ¼", If mastic or tape is used. Building cavities, air handler support platforms, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts; ducts installed in these spaces must not be compressed." these spaces must not be compressed. \*

Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.

Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for; pressure-sensitive tapes, mastics, seafants, and other requirements specified for duct construction.

Backdraft Damper. Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic dampers.

Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible, manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.

Protection of Insulation. Insulation must be protected from damage due tosunlight, moisture, equipment maintenance, and wind. mile: Insulation exposed to weather must be suitable for outdoor service (e.g., protected by aluminum, sheet metal, paintenance, and wind.

Insulation exposed to weather must be suitable for outdoor service (e.g., protected by aluminum, sheet metal, paintenance, and wind.

cover). Cellular foam insulation must be protected as above or painted with a water retardant and solar radiation-resistant coating. Porous Inner Core Flex Duct. Porous inner cores of flex ducts must have a non-porous layer or air barrier between the inner core and outer vapor barrier.

Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to an cupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in ordance with Reference Residential Appendix RA3.1. Air Filtration. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A. Clean-filter pressure drop and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service. Filter cks or grilles must use gaskets, sealing, or other means to close gaps around the inserted filters to and prevents air from bypassin

5/6/22

Registration Number: 223-P010080464A-000-000-0000000-0000 Registration Date/Time: 2023-07-07 11:24:20 CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-07-07 11:18:02 Schema Version: rev 20220901 619-292-8807

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

Registration Number: 223-P010080464A-000-0' CA Building Energy Efficiency Standards - 20

2022 Single-Family Residential Mandatory Requirements Sun

and must be sealed with a gasket or caulk. California Electrical Code § 410.116 must also be met.

Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.

Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device shall be no more than the number of bedrooms. These boxes must be served by a dimmer, vacancy sensor control uniform the properties of § 150.0(k)1E: control, low voltage wiring, or fan speed control.

Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust

Electric and Energy Storage Ready:

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

**Heating Unit Name** 

**Airflow Target** 

**Pipe Insulation** 

Project Name: Gonzales ADU - 2 Bedroom Plan 2B 2023

System Type

Heat pump

heating cooling

VCHP-ductless

Verified Airflow

Not Required

Registration Number: 223-P010080464A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Calculation Description: Title 24 Analysis

WATER HEATING - HERS VERIFICATION

Name

Name

Split1

HVAC - HEAT PUMPS

System 1

Heat Pump System

**HVAC HEAT PUMPS - HERS VERIFICATION** 

Calculation Date/Time: 2023-07-07T11:17:02-07:00

Input File Name: tmp6836.ribd22x

Cooling Equipmer

Type SEER2

Verified Refrigerant

Charge

Yes

Registration Date/Time: 2023-07-07 11:24:20

Report Version: 2022.0.000

2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.

Building Envelope:

Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or

\$ 110.6(a)1: Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square rour or less when tested per NFRC-400, ASTM E283, or AAMA/WDMA/CSA 101/I.S.2/A440-2011.

\$ 110.6(a)5: Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a).

Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped.

Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked analysis of the product of the stripped of the product of the stripped of the product of t

Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g).

Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the

roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified

Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consume

Roof Deck, Ceiling and Rafter Roof Insulation. Roof decks in newly constructed attics in climate zones 4 and 8-16 area-weighted

average U-factor not exceeding U-0.184. Ceiling and rafter roofs minimum R-22 insulation in wood-frame ceiling; or area-weighted average U-factor must not exceed 0.043. Rafter roof alterations minimum R-19 or area-weighted average U-factor of 0.054 or less. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage, insulation must be installed in direct contact with a roof or ceiling which is sealed to limit infiltration and exilitation.

as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling.

Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood

framing or have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.1

physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).

Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to

§150.0(0).

Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of

Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in

regulated appliances must be certified by the manufacturer to the California Energy Commission.

HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-N.

Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance

heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating.

Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a

setback thermostat. \*
Insulation. Unfired service waer heater storage tanks and solar water-heating backup tanks must have adequate insulation, or tank surface heat loss rating.

2022 Single-Family Residential Mandatory Requirements Summary

150.0(k)2A: Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.

\$ 150.0(k)2B: Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems. Accessible Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned

\$ 150.0(k)2E: must be controlled by an occupancy or vacancy sensor providing automatic-off functionality. Lighting inside drawers and cabinets with opaque fronts or doors must have controls that turn the light off when the drawer or door is closed.

\$ 150.0(k)2F: |

\$ 150.0(k)2

§ 150.0(k)2K: Independent controls. Integrated lighting of exhaust fans shall be controlled independently from the fans. Lighting under cabinets or shelves, lighting in display cabinets, and switched outlets must be controlled separately from ceiling-installed lighting.

Residential Outdoor Lighting For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must have a manual on/off switch and either a photocell and motion sensor or automatic time switch

§ 110.10(a)1: application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency,

feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 16 square feet each for buildings with roof areas greater than 10,000 square feet. For single-family residences, the solar zone must be

110.10(b)2: Azimuth. All sections of the solar zone located on steep-sloped roofs must have an azimuth between 90-300° of true north.

located on the roof or overhang of the building and have a total area no less than 250 square feet. \*

§ 110.10(e)1: Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amos.

solution and use a failing.

Solution Palves, instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.

Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.

Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required power, emit no more than 150 umens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or

on and off.\*

Multiple Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the dimmer or sensor is installed

Mandatory Requirements. Lighting controls must comply with the applicable requirements of § 110.9.

Energy Management Control Systems. An energy management control system (EMCS) may be used to comply with dimming, occupancy, and control requirements if it provides the functionality of the specified control per § 110.9 and the physical controls specified

in § 150.0(k)2A.

Automatic Shutoff Controls. In bathrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire

control) or an astronomical time clock. An energy management control system that provides the specified control functionality and meets applicable requirements may be used to meet these requirements.

Internally illuminated address signs. Internally illuminated address signs must either comply with § 140.8 or consume no more than 5 watts of power.

Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in §§ 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.

which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b)-(e).

Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any

requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than

Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.

Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the

nonzoniar distance or the height cheering between the highest point of the dostrocard and the heizoniar projection of the hearts point of the solar zone, measured in the vertical plane.

Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for

roof dead load and roof live loac must be clearly indicated on the construction documents.

Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a

Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pol

circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric."

§ 110.10(c): pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single-family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.

Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b)-(c) must be provided to the occupant.

\$ 150.0(d): Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.\*

Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from

\$ 150.0(g)2: Approximate in climate comes in and to, a class for class in value increase in a class in a class

§ 150.0(e)2: area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device. § 150.0(e)3: Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control.

Space Conditioning, Water Heating, and Plumbing System:

Certification. Heating, ventilaton, and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other

Schema Version: rev 20220901

Fan Name

EER / Controlled

Verified

HSPF/HSPF2

CEER

**Compact Distribution** 

Cooling Unit Name

04 05 06 07 08 09 10

8.2 24000 14880 EERSEER

SEER/SEER2

Not Required

HSPF2 / Cap 47 Cap 17

Verified EER/EER2

Not Required

caulked, gasketed, or weather stripped.

Masonry walls must meet Tables 150.1-A or B. \*

§ 110.5(e) Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.

Fireplaces, Decorative Gas Appliances, and Gas Log:

§ 150.0(k)2B: to comply with § 150.0(k).

§ 150.0(e)1;

§ 110.3(c)3:

5/6/22

Goods and Services (BHGS).

**Parallel Piping** 

(Page 10 of 12)

wer Drain Water Hea

09

Thermostat Type

Setback

13

**HERS Verification** 

1-hers-htpump

Cap 17

CalCERTS inc.

Recovery

08

**Distribution Name** 

n/a

Verified Heating

Cap 47

Yes

Report Generated: 2023-07-07 11:18:02

§ 150.0(k)1F: hoods) must meet the applicable requirements of § 150.0(k).

Exceptions may apply.

5/6/22

HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY Gonzales ADU - 2 Bedroom Plan 2B 2023
System Name
Ductless Mini Split 7/7/2023 Floor Area 746 ENGINEERING CHECKS Number of Systems COIL COOLING PEAK COIL HTG. PEAK 
 CFM
 Sensible
 Latent
 CFM
 Sensible

 394
 8,453
 247
 303
 12,031
 Heating System Output per System Total Output (Btuh) Return Vented Lighting Output (Btuh/sqft) Return Air Ducts Cooling System Ventilation Output per System Supply Fan Total Output (Btuh) Supply Air Ducts Total Output (Tons) Total Output (Btuh/sqft) TOTAL SYSTEM LOAD Total Output (sqft/Ton) Air System 300 HVAC EQUIPMENT SELECTION CFM per System Airflow (cfm) Airflow (cfm/sqft) Airflow (cfm/Ton) Outside Air (%) 0.0% Total Adjusted System Output
Outside Air (cfm/sqft) 0.00 (Adjusted for Peak Design conditions) Note: values above given at ARI conditions

TIME OF SYSTEM PEAK

HEATING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Heating Peak) 4°F 68°F 68°F 105°F Supply Fan Heating Coil 300 cfm ROOM COOLING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Cooling Peak) 75 / 61 °F 75 / 61 °F 55 / 53 °F 45.3% ROOM

DESIGN PATH STUE

BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF GONZALES ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF GONZALES BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.
2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS.

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.

4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

project

City of Gonzales Pre-Approved ADU Plans

description

Energy Calculations

date September 2023

project no.

drawn by DESIGN PATH STUDIO

no.T24.3